

**CITY COUNCIL MEETING**

Tuesday, May 24, 2016

**Grimes City Hall 5:30 P.M.**

The regular meeting of the Grimes City Council was called to order by Mayor Pro Tem Altringer on Tuesday, May 24, 2016 at 5:30 P.M. at the Grimes City Hall. The Pledge of Allegiance was led by Mayor Pro Tem Altringer

Roll Call: Present: Altringer, Bickford, Hamp, Johansen, Blackford

**GENERAL AGENDA ITEMS.**

**Approval of the Agenda**

Mayor Pro Tem Altringer asked for approval of the agenda.

Moved by Bickford, Seconded by Hamp; the Agenda shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**Approval of the Consent Agenda**

A.Minutes from previous meeting Integrated Print \$3,196.54 (programs booklets for Parks and Rec Programs C.AECOM \$19,360.92 (NW Transportation corridor Feasibility Study) D.Grimes Chamber and Economic Development Class B Beer License for Governors Days E.Harn R/O \$377,265 (Phase I Water System Improvements Emergency Supplemental Supply Reverse Osmosis System) F.Flooring America \$13,179.01 (carpet for former YMCA area at GCC) G.Request for cul-de-sac closure for graduation party NE Ashwood Court May 28, 2016 H. Constructed Wetland Group Professional Service Agreement (Reed beds at plant) I. Hawkins Inc. - \$2,852 ( water treatment plant) J. Bound Tree Medical -- Lifepak for Fire Department \$5,999.99 K.Request for Street Closure for Block Party Chevalia Court L. The University of Iowa \$19,032 (Groundwater Modeling of the Jordan Aquifer) M.Refund for Overcharge on Building Permit \$200 (Genuine Homes) N. Vacation of Trail Easement in Chevalia Valley Plat 1 O.JBTT Site Plan Storm Water Management Facility Maintenance covenant and Permanent Easement Agreement (Chevalia Pointe Plat 1) P. Finance Report for April 2016 Q.Request for street closure for block party on NW 3<sup>rd</sup> Court June 11, 2016 R.Resolution 06-2814 Expenditures for Public Purpose \$1,903.21 S.Claims Dated May 24, 2016 in the amount of \$986,226.95

Moved by Bickford, Seconded by Hamp; the Consent Agenda shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

Apr-16

	Beg Balance	Receipts	Expenses	Ending Balance
General Fund	2,445,067.22	2,611,861.60	489,689.70	4,567,239.12
Special Revenue Fund	2,553,996.32	863,639.22	2,093,170.96	1,324,464.58
Debt Service Capital Improvements	3,287,752.79	1,979,042.86	4,883.00	5,261,912.65
Enterprise Fund	3,679,436.57	441,985.88	319,098.32	3,802,324.13
Total	6,300,421.30	1,334,428.91	1,478,548.79	6,156,301.42
	18,266,674.20	7,230,958.47	4,385,390.77	21,112,241.90

**US Water Report**

Andy Wood of US Water and Grimes Water and Wastewater was present to update the Council. He advised that the new reverse osmosis system is almost completely installed and should be online the week of June 6<sup>th</sup>. Wood provided updates on the wastewater plant operation and maintenance along with the distribution and collection system operations. City Administrator Brown asked Wood if the addition of the new locate company was helping them. Wood stated that it had freed up one person to do other things that are needed so it has been good.

Mayor Armstrong arrives at 5:35 pm and assumes the gavel.

## **PUBLIC AGENDA**

### **A. Gateway Industrial Park Plat 1 – Lot 1**

Jason Conway of the OPUS Group, Minnetonka, Minnesota was present to address the Council regarding the site plan. He reminded everyone that Owens Minor had a ribbon cutting today which is in another OPUS building that has been recently built in Grimes. He stated that this business would employ 150 people. He spoke to the two buildings being considered tonight and stated that Lot 1 building would contain more office space than warehouse and Lot 2 building would be more warehouse than office space. Jason reviewed some enhancements that had been made to the building at the request of the Council from the previous meeting. He stated these included added vegetation, parapets and bump outs at different locations of the building. Council asked for some additional clarification on the building features. Council thanked OPUS for working with staff on enhancements to the building that met the requirements for the Hwy 141 Corridor as defined in Grimes Code of Ordinances.

Moved by Johansen, seconded by Hamp; the Gateway Industrial Park Plat 1 – Lot 1 shall be approved subject to Fox Engineering letter dated April 29, 2016.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

### **B. Gateway Industrial Park Plat 1 – Lot 2**

Jason Conway of the OPUS Group, Minnetonka, Minnesota presented updated plans for Lot 2. He reminded the Council this building would be higher percentage warehouse space than office and this building was in the transportation overlay district in Grimes. Conway presented the changes that had been made to the building exterior at the request of the Council from the previous meeting. He added that some of these enhancements included vegetation and additional glass. Mayor Armstrong asked for clarification of the drawings if the colored areas contained bump outs like those in Lot 1. Conway stated he did not have that information. Council Member Johansen stated he had the same question but did want to thank them for adhering to the 40 linear feet of glass as requested previously by Council. City Engineer Holtz stated that he had not had time to view this new rendering to confirm the total amount of linear glass but understood the Council had agreed to allow glass higher on the building and not eye level due to the building being a warehouse. Mayor Armstrong confirmed this had been approved by Council at the previous meeting. Council Member Johansen stated he was willing to approve the site plan subject to bump outs on each end of the building. Conway advised that he could not approve having those be bump outs at this time. He added that bump outs come at an additional cost and that they are warehouse buildings and the market will only bear a certain rent as opposed to office buildings whose rent is substantially higher. Conway stated this building was very similar to the R&R warehouse building that was also in the transportation overlay district. Council Member Hamp stated that he understood the difference between the two buildings and that they were in different

building code districts and moved to approve the building as presented subject to Fox Engineering letter dated April 29, 2016, Seconded by Bickford.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

### **C. Governors Days Requests**

Brian Buethe of Grimes Chamber and Economic Development was present to request assistance from the City of Grimes for the Governors Days celebration which will be held June 9-11. He thanked major contributors: Toyota, Heritage of Grimes, Fox Engineering and Rainbow Play Systems along with Athletico Physical Therapy who will be sponsoring the 5K Run and MS Moments who will sponsor the bags tournament. Buethe reviewed some of the activities that would be held during the celebration. Buethe advised they had also applied for an alcohol license during the event. He also asked for financial assistance in the amount of \$10,000 to go towards to purchase of fireworks on July 4<sup>th</sup>. Buethe advised that for further information you can go to the City's webpage for direct link to all the activities. Buethe thanked the City for their support over the years to an event that just gets better and better. He added that he wanted to add a word of thanks to Vickie Lilly and Marie Hutcheson for all their work on this celebration.

Moved by Johansen, Seconded by Altringer; the Governors Days request shall be approved as presented.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

### **D. Governors District Alliance Band and Car Show Approval Request on SE Main Street (include approval for 5 day outdoor alcohol license for Stevie C's, Mustang Grill, and Rehab Bar & Grill)**

Brian Buethe of Grimes Chamber and Economic Development represented the Governors District Alliance with a request for a band on June 9<sup>th</sup> and a car show on June 12<sup>th</sup>. Buethe advised that the businesses: Mustang Grill, Rehab Bar and Grill and Steve C's are working together to plan, organize and supervise these events. He added that each of this business had applied for an outdoor license for this event. Buethe advised they would be asking for the street to be closed in the Governors Days District during these times and would ask for assistance from the City. The Council discussed having some additional security during these times.

Moved by Johansen, Seconded by Bickford; that the band and car show along with the alcohol licenses for outdoors to Mustang Grill, Rehab Bar and Grill and Steve C's shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

### **PUBLIC FORUM**

No one addressed the Council

### **COUNCIL ACTIONS**

#### **A. Ordinance #655 Second Reading An Ordinance Amending the Grimes Official Zoning Map, Pursuant to the Code of Ordinance Section 165.05 By Changing the Zoning of 3.85 acres currently zoned Planned Unit Development (PUD) Single Family to PUD-Planned Unit Development Multi Family Medium Density known as Heritage At Grimes**

Moved by Johansen, Seconded by Bickford; the Second Reading of Ordinance #655 changing the zoning from PUD Single Family to PUD Multi Family Medium Density shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

Moved by Altringer, Seconded by Blackford; Third reading of Ordinance #655 shall be waived.  
Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

Moved by Altringer, Seconded by Blackford; Ordinance #655 shall now pass.  
Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**B. Approval of Appeal of FEMA's Preliminary Flood Insurance Rate Maps for the City of Grimes and Polk County**

City Engineer Mitch Holtz reviewed the documentation that would be provided back to FEMA to support not changing the flood zone maps. Holtz stated that it could be next spring before they hear back from FEMA.

Moved by Johansen, Seconded by Altringer; the appeal to FEMA's Preliminary Flood Insurance rate maps for the City of Grimes and Polk County prepared by Fox Engineering shall be approved.  
Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**COUNCIL DISCUSSIONS**

**Mayors Report**

Mayor Armstrong stated that he had attended on behalf of the MPO a Transportation Leadership Academy in Indianapolis. He stated the next one would be in Boston. Mayor Armstrong stated it was very enlightening and gave him new insights into traffic flows.

Mayor Armstrong made the following appointment: Amy Montford to the Board of Adjustment to fill an unexpired term until January 2020.

Moved by Altringer, Seconded by Blackford, this appointment shall be approved.  
Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**City Attorney Report**

**No Report**

**City Engineer Report**

City Engineer Holtz stated that the box culvert construction in Heritage is moving along well and should be finished by the end of June.

**City Staff Report**

City Administrator Brown reminded everyone of the Legion and Boy Scout Memorial Day Ceremony at 10:00 am on Monday followed by a reception at the Grimes Community Complex.

**Old Business**

**New Business**

**Adjourn** Moved by Hamp; Seconded by Altringer; there being no further business, the meeting shall be adjourned at 6:53 p.m.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

ATTEST:

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Rochelle Williams, City Clerk

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Thomas M. Armstrong, Mayor



The workshop meeting of the Grimes City Council was called to order by Mayor Armstrong on Tuesday, May 24, 2016 at 7:09 pm at Grimes City Hall.

Roll Call: Present: Altringer, Johansen, Hamp, Bickford, Blackford

**APPROVAL OF THE AGENDA**

Moved by Hamp, seconded by Altringer; the agenda shall be approved.

Roll call. Ayes: All. Nays: None. Motion passes 5 to 0.

**A.Hwy 141 Corridor Ordinance**

Due to the City Engineer being unable to attend this item will be discussed at a future meeting.

**New Business**

The Council held general discussion regarding an agreement between the City of Johnston and Grimes for sharing of administrative resources and equipment for EMS services.

Moved by Hamp, Seconded by Altringer; there being no further business, the workshop meeting is adjourned at 8:15 pm.

ATTEST:

\_\_\_\_\_  
Rochelle Williams, City Clerk

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

**TOBACCO PERMITS**

**2016/2017**

<b>TAB</b>	<b>Name</b>	<b>Site Address</b>	<b>Mail Address</b>	<b>Permit #</b>	<b>Received</b>	<b>Approval Date</b>
2	Casey's General Store	206 E 1st Street	PO Box 3001 Ankeny IA 50021-8045	17-001	12-May	06/14/16
3	Fareway Store	351 SE Gateway Dr.	PO Box 70 Boone, IA 50036	17-002	23-May	06/14/16
5	Johnson's 66	101 SE Main	Same	17-003	18-Apr	06/14/16
6	Krueger BP #4	1905 SE 37th	PO Box 65010 West Des Moines IA 50265	17-004	05-May	06/14/16
7	Kum & Go # 141	1880 SE Princeton Dr.	6400 Westown Pkwy,WDM IA 50266	17-005	28-Apr	06/14/16
8	Kum & Go # 237	801 E. 1st Street	6400 Westown Pkwy,WDM IA 50266	17-006	28-Apr	06/14/16
13	Walmart #5748	2150 E. 1st Street	Wal-Mart Stores Inc. Attn: Cynthia Montero 508 SW 8th St. Dept #8916 Bentonville, AR 72716- 0500	17-008	20-Apr	06/14/16
14	Spirits	109 E. 1st Street	Same	17-009	25-Apr	06/14/16
15	QuikTrip	1900 SE 37th St	QT, PO Box 3475 Tulsa, OK 74101-3475	17-010	02-May	06/14/16
16	Dollar General	421 SE Gateway Drive	Goodlettsville, TN 37072 Attn: Chris (Tax Licensing)	17-011	09-May	06/14/16
17	Maple Vape LLC	200 SE Gateway Dr. #109	200 SE Gateway Dr. # 109	17-012	06-Jun	06/14/16



RECEIVED MAY 23

I N V O I C E

P A Y A B L E U P O N R E C E I P T 05-16-16

PAGE 1

INVOICE NUMBER: 33396

CUSTOMER NO:02283

TYPE: STOCK ISSUE

STOCK ISSUE NO: 351929

GRIMES, CITY OF  
101 N HARVEY ST  
GRIMES

IA 50111

QUANTITY	LINE DESCRIPTION	STOCK NUM	AMOUNT DUE
165.0	PAINT WHT TRAF WTR BASE 55 GAL	016045057	\$1,316.70
165.0	PAINT YEL TRAF WTR BASE 55 GAL	016047557	\$1,244.10
50.0	BEADS REFLECTIVE 50# WATERBORN	002027400	\$897.00

DESC:P016758 2016 PAINT

\*\* T O T A L D U E \*\* \$3,457.80

I HEREBY CERTIFY THAT THE  
ABOVE ITEM(S) AS LISTED ARE  
TRUE, CORRECT & WHOLLY UNPAID

*Sarah Doser-Sansgaard*

DETACH AND RETURN WITH PAYMENT

COPY

CASHIERS OFFICE  
IOWA DEPARTMENT OF TRANSPORTATION  
800 LINCOLN WAY  
AMES IA 50010

CUSTOMER NO. 02283 INVOICE NO. 33396 AMOUNT ENCLOSED \_\_\_\_\_

PLEASE WRITE YOUR INVOICE NUMBER ON YOUR CHECK.

P.O. No. \_\_\_\_\_

17936

# CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

## PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Lousa DOT  
Name

800 Lincoln Way Ames IA 50010  
Address

Phone Number/Fax Number \_\_\_\_\_

ITEMS	QTY	UNIT PRICE	TOTAL
white			1316.70
yellow			1244.10
Beads			897.00

3457.80

**PURCHASE JUSTIFICATION:** \_\_\_\_\_

newly Paint for streets, cross walks & parking lots

DEPARTMENT: streets

LINE ITEM: \_\_\_\_\_

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: Dave Soble DATE: 5-24-16  
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown City Administrator/Clerk

Date

Council Approval date: (if over \$2500)

Purchaser's Copy

Vendor's Copy

File Copy

**From:** Nicole Smith <coli\_02@yahoo.com>  
**Sent:** Tuesday, May 31, 2016 2:43 PM  
**To:** Rochelle Williams  
**Subject:** Friends of the Grimes Public Library 5K

Hey Rochelle!

I had stopped in for a second on the 18th and chatted with you about doing a 5K as a fundraiser for the library. We have a path sketched out that would avoid any major intersections but would involve some sidewalks which cross side streets and bike paths. Our thinking is that we could start at the library and have it run along North James on the sidewalk all the way down to the bike path behind NW Gabus. We would then have it follow the bike path until NW Calista where we would be on sidewalks alongside residential streets. We would take a jog over on NW 14th to get onto NW Norton. That would follow until another jog on NW 8th to get onto NW Morningside. That would then follow until NW 3rd to NW Prairie Creek and then the path along W 1st back to the library. I will send over a separate email with the path pictured.

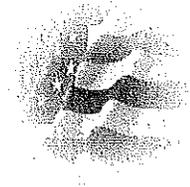
If this would be acceptable, we are looking to do a Fun Run beginning at 8:45 which would be a mile path and then the 5K to begin at 9:15 on July 30th. The library is holding their summer reading finale party from 10 - noon at the library so we are working to coincide with that event.

Thanks so much for your help with this! Just let me know what I need to do to proceed.

I appreciate your support!  
Nicole Smith



## *Grimes Fire and Rescue Department*



June 3, 2016

Mayor Armstrong and City Council Members,

Earlier this year Chief Krohse approached the council with a request to conduct a promotion process for full-time career Lieutenants. He requested and received approval to proceed with that process from both Grimes and Johnston councils. That process has now been completed and I am proud announce those results to the council.

The process started with ten internal candidates. Each candidate took a written examination, completed an assessment center run by an external committee, and then each was interviewed by a panel consisting of the Deputy Chiefs and both City Managers. This was a very challenging process and in the end, we had six candidates that met the 70% requirement to be placed on the Eligibility List (Directive #16-005). Two of the six candidates, Sean McAndrew and Matt Price, are Grimes Full-Time firefighters and did very well placing third and fourth on the promotion list.

Directive #16-006 announces the promotion of the first three career Lieutenants for the Grimes and Johnston Fire Departments. These three Lieutenants will be working out of station 40 with the intent of assisting the leadership of both departments. The first promotions do include one Grimes full-time member, Sean McAndrew. I believe this will be an improvement for the organization and will greatly benefit the city and citizens of Grimes.

Respectfully,

Ronald L. Schipper

Deputy Fire Chief, Grimes Fire and Rescue Department



Directive #16-005

June 3, 2016

To: All Personnel  
From: Deputy Chiefs Gentosi and Schipper  
Subject: Lieutenant – Eligibility List

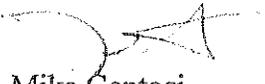
The Grimes Fire & Rescue Department and Johnston Fire Department recently conducted a promotional exam for Career Lieutenant.

The testing resulted in six (6) members being placed on an eligibility list. They are as follows:

- 1) Craig Ver Huel
- 2) Tristan Johnson
- 3) Sean McAndrew
- 4) Matt Price
- 5) Nic Hutchinson
- 6) Nick Stewart

We offer our congratulations to the candidates as it was a challenging process.

By Orders Of,

  
Mike Gentosi  
Deputy Fire Chief  
Johnston Fire Department

  
Ron Schipper  
Deputy Fire Chief  
Grimes Fire & Rescue Department



Directive #16-006

June 15, 2016

To: All Personnel  
From: Deputy Chiefs Gentosi and Schipper  
Subject: Lieutenant - Promotions

The Grimes Fire & Rescue Department and Johnston Fire Department recently conducted a promotional exam for Career Lieutenant.

The testing resulted in six (6) members being placed on an eligibility list. We currently have three new officer positions, so effective June 15, 2016 the following candidates are being promoted to the rank of Lieutenant, Career, for both departments:

- 1) Craig Ver Huel
- 2) Tristan Johnson
- 3) Sean McAndrew

We offer our congratulations to the promoted candidates, and we wish them well in their new assignments. Their education, knowledge, and experience were well demonstrated throughout the testing process and will serve them and the department well, for many years to come.

By Orders Of,

  
Mike Gentosi  
Deputy Fire Chief  
Johnston Fire Department

  
Ron Schipper  
Deputy Fire Chief  
Grimes Fire & Rescue Department

RECEIVED MAY 31

May 26, 2016

To: City of Grimes Council

101 NE Harvey St.

Grimes, IA 50111

Re.: Consideration of Sewage Bill Waiver

Dear Council,

We, the owners of the resident at 908 NE Silkwood St., were recently made aware by the City of Grimes Utilities Unit that our water usage for the current billing cycle has increased significantly (more than two folds) than what we have normally been using in the past. We appreciate the courtesy notification and the reason for the drastic jump in our water usage was due to the lawn faucet (outside) being accidentally left turned on (by a child) for an extended period of time before we came across the running water.

We, hereby, would like to request the Council to consider waiving the sewer charge we have been billed for the current cycle because the amount of water used does not reflect our regular monthly usage and the water in this incident drained outside into the lawn.

Thank you for your time and consideration.

Sincerely,

Demitu Mogassa

&

Gemechisa Mosa

908 NE Silkwood St.

Grimes, IA 50111



Request Refund \$ 23.04

Account Number - 01-096200-01 MOSA, GEMECHISA Service Address: 908 NE SILKWOOD ST

Service: 100 100 RES WATER Meter: 70703146

Month	Date	Read		Total	Demand		Reading		Occupant
		Previous	Current	Consumption	Read	Consumption	Flag	Source	
Year : 2016 Total 5									
May	05/16/2016	1427	1484	5700			Regular	Hand Held	01
Apr	04/15/2016	1416	1427	1100			Regular	Hand Held	01
Mar	03/15/2016	1402	1416	1400			Regular	Hand Held	01
Feb	02/15/2016	1385	1402	1700			Regular	Hand Held	01
Jan	01/14/2016	1367	1385	1800			Regular	Hand Held	01
Year : 2015 Total 12									
Dec	12/16/2015	1349	1367	1800			Regular	Hand Held	01
Nov	11/16/2015	1326	1349	2300			Regular	Hand Held	01
Oct	10/15/2015	1308	1326	1800			Regular	Hand Held	01
Sep	09/16/2015	1287	1308	2100			Regular	Hand Held	01
Aug	08/17/2015	1261	1287	2600			Regular	Hand Held	01
Jul	07/15/2015	1242	1261	1900			Regular	Hand Held	01
Jun	06/15/2015	1223	1242	1900			Regular	Hand Held	01
May	05/18/2015	1197	1223	2600			Regular	Hand Held	01
Apr	04/15/2015	1171	1197	2600			Regular	Hand Held	01
Mar	03/16/2015	1152	1171	1900			Regular	Hand Held	01
Feb	02/16/2015	1132	1152	2000			Regular	Hand Held	01
Jan	01/16/2015	1112	1132	2000			Regular	Hand Held	01
Year : 2014 Total 7									
Dec	12/15/2014	1091	1112	2100			Regular	Hand Held	01
Nov	11/13/2014	1070	1091	2100			Regular	Hand Held	01
Oct	10/13/2014	1053	1070	1700			Regular	Hand Held	01
Sep	09/16/2014	1030	1053	2300			Regular	Hand Held	01
Aug	08/14/2014	998	1030	3200			Regular	Hand Held	01
Jul	07/14/2014	977	998	2100			Regular	Hand Held	01
Jun	06/17/2014	950	977	2700			Regular	Hand Held	01
				Avg 2225					

12 months  
 20,400  
 - 12  
 -----  
 1,700

4,000 gallons over normal

4  
 x 5.76  
 -----  
 \$ 23.04

## ODFI/Originator Agreement

### COMPANY INFORMATION AND STATEMENT

Company: City of Ames  
Hereafter referred to as "Company"

Tax Payer ID: 42-6004731

Approved Exposure Limit(s): Schedule [F]

This Agreement is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by and between the Company and \_\_\_\_\_ (hereafter referred to as "*Financial Institution*").

### RECITALS

A. Company wishes to initiate credit and debit Entries pursuant to the terms of this Agreement and the *NACHA Operating Rules and Guidelines* (the *Rules*), and Financial Institution is willing to act as an Originating Depository Financial Institution (ODFI) with respect to such Entries. The Company may only initiate transactions as provided in Section 33.

B. Unless otherwise defined herein, capitalized terms shall have the meanings provided in the *Rules*. The term "Entries" shall have the meaning provided in the *Rules* and shall also mean the data received from the Company hereunder from which the Financial Institution prepares Entries.

### AGREEMENT

1. *NACHA Operating Rules and Guidelines* (the *Rules*). The Company has access to a copy of the *Rules*, acknowledges receipt of a copy, or may purchase a copy if they so desire. The Company agrees to comply with and be bound by the *Rules*. In the event the Company violates any of the applicable *Rules* and NACHA imposes a fine on the Financial Institution because of the Company's violation, the Financial Institution may charge the fine to the Company. The Financial Institution agrees to inform the Company of revisions to the *Rules* of which the Financial Institution has knowledge.
2. *U.S. Law*. It shall be the responsibility of the Company to ensure origination of ACH transactions complies with U.S. law. This includes, but is not limited to; sanction laws administered by the Office of Foreign Assets Control (OFAC). It shall be the responsibility of the Company to obtain information regarding such OFAC enforced sanctions.
3. *Governing Law*. This Agreement shall be construed in accordance with and governed by the laws of the State of Iowa.

4. *Security Procedures.*

- (a) The Company and the Financial Institution shall comply with the security procedure requirements described in the attached Schedule [A] with respect to Entries transmitted by the Company to the Financial Institution. The Company acknowledges that the purpose of such security procedures is to verify authenticity and not to detect an error in the transmission or content of an Entry. No security procedures have been agreed upon between the Financial Institution and the Company for the detection of any such error.
- (b) The Company is strictly responsible for establishing and maintaining commercially reasonable security measures to safeguard against unauthorized transmissions, network infections, and breaches of Protected Information (i.e. non-public consumer data). The Company warrants that such measures will include, but not be limited to, security technology (e.g. secure web-servers) that provides a minimum level of security equivalent to the commercially reasonable standard for similarly sized companies for the Entry and transmission of Entries over the Internet, and network security to safeguard account information and access from unauthorized parties. Schedule [A] outlines additional requirements.

Additionally, the Company warrants that no individual will be allowed to initiate transfers in the absence of proper supervision and safeguards, and agrees to take reasonable steps to maintain the confidentiality of security procedures and any passwords, codes, security devices and related instructions provided by the Financial Institution in connection with the security procedures detailed in Schedule [A]. If the Company suspects that any such information or instructions are accessed by unauthorized persons, the Company will notify the Financial Institution immediately. The occurrence of unauthorized access will not affect any transfers made in good faith by the Financial Institution prior to receipt of notification and within a reasonable time period to prevent unauthorized transfers.

5. *Processing, Transmittal and Settlement by Financial Institution.*

- (a) Except as provided in Section 4, the Financial Institution shall (i) process Entries received from the Company to conform with the file specifications set forth in the *Rules*, (ii) transmit such Entries as an ODFI to Federal Reserve (the "ACH Operator"), and (iii) settle Entries as provided in the *Rules*.
- (b) The Financial Institution shall transmit such Entries to the ACH Operator by the deadline set forth in the attached Schedule [B] two business days prior to the Effective Entry Date shown in such Entries, provided (i) such Entries are received by the Financial Institution's related cut-off time set forth in attached Schedule [B] on a business day, (ii) the Effective Entry Date is at least 2 days after such business day, and (iii) the ACH Operator is open for business on such business day, e.g. excluding Federal Holidays. For purposes of this Agreement, Entries shall be deemed received by the Financial Institution, in the case of hand-delivered files, when received by the Financial Institution at the location set forth in Schedule [A], and in the case of electronic file transmission, when the transmission is completed as provided in Schedule [A].

(c) If any of the requirements of clause (i), (ii), or (iii) of Section 5(b) are not met, the Financial Institution shall use reasonable efforts to transmit such Entries to the ACH Operator by the next deposit deadline on which the ACH Operator is open for business.

6. *On-Us Entries.* Except as provided in Section 7, in the case of an Entry received for credit or debit to an account maintained with the Financial Institution (an "On-Us Entry"), the Financial Institution shall credit or debit the Receiver's account in the amount of such Entry on the Effective Entry Date contained in such Entry, provided the requirements set forth in Section 5(b) are met. If any of those requirements are not met, the Financial Institution shall use reasonable efforts to credit or debit the Receiver's account on the next business day following such Effective Entry Date.
7. *Rejection of Entries.* The Financial Institution shall reject any Entry which does not comply with the requirements of Section 33 or Section 4, or which contains an Effective Entry Date more than 10 days after the business day such Entry is received by the Financial Institution. The Financial Institution shall have the right to reject an On-Us Entry for any reason for which an Entry may be returned under the *Rules*. The Financial Institution shall have the right to reject any Entry if the Company has failed to comply with its account balance obligations under Section 13. The Financial Institution shall notify the Company by phone, fax, or electronic transmission of such rejection no later than the business day such Entry would otherwise have been transmitted by the Financial Institution to the ACH Operator, or in the case of an On-Us Entry, its Effective Entry Date. The Financial Institution shall have no liability to the Company by reason of the rejection of any such Entry or the fact that such notice is not given at an earlier time than that provided for herein.

In the event that any Entries are rejected by the ACH Operator for any reason, it shall be the responsibility of the Company to remake such Entries. Should the file be rejected due to an error caused by the Financial Institution, the Financial Institution shall be responsible for remaking the file. In such a case, the Company will supply sufficient information, as required in Section 22, to allow the Financial Institution to recreate the entries for up to five (5) business days after midnight of the settlement date.

8. *Cancellation or Amendment by Company.* The Company shall have no right to the cancellation or amendment of any Entry after its receipt by the Financial Institution. However, the Financial Institution shall use reasonable efforts to act on a request by the Company for cancellation of an Entry prior to transmitting it to the ACH Operator, or in the case of an On-Us Entry, prior to crediting or debiting a Receiver's account. The Company shall reimburse the Financial Institution for any expenses, losses, or damages the Financial Institution may incur in effecting or attempting to effect the cancellation or amendment of an Entry.
9. *Notice of Returned Entries.* The Financial Institution shall notify the Company by phone or electronic transmission of the receipt of a returned Entry from the ACH Operator no later than one business day after the business day of such receipt.

10. *Notifications of Change.* The Financial Institution shall notify Company of all Notifications of Change received by the Financial Institution related to Entries transmitted by the Company by phone or electronic transmission no later than two (2) banking days after receipt thereof. The Company shall ensure that changes requested by Notifications of Change for recurring payments are made within six (6) banking days of the Company's receipt of the information or prior to initiating another Entry to the Receiver's account, whichever is later.
11. *Reinitiation of Entries.* The Company may not reinitiate Entries except as prescribed by the *Rules*.
12. *Payment by Company for Entries; Payment by ODFI for Entries.*
  - (a) The Company shall pay the Financial Institution the amount of each credit Entry (including On-Ups Entries) transmitted by the Financial Institution pursuant to this Agreement at such time on the Settlement Date with respect to date of transmittal by Financial Institution of such credit Entry as the Financial Institution, at its discretion, may determine.
  - (b) The Company shall pay the Financial Institution the amount of each debit Entry returned by a Receiving Depository Financial Institution pursuant to this Agreement.
  - (c) The Financial Institution shall pay the Company the amount of each debit Entry (including On-Ups Entries) transmitted by the Financial Institution pursuant to this Agreement at such time on the Settlement Date with respect to date of transmittal by Financial Institution of such debit Entry as the Financial Institution, at its discretion, may determine.
  - (d) The Financial Institution shall promptly pay the Company the amount of each credit Entry returned by a Receiving Depository Financial Institution pursuant to this Agreement.
13. *The Account.* The Financial Institution may, without prior notice or demand, obtain payment of any amount due and payable to it under the Agreement by debiting the account(s) of the Company identified in the attached Schedule [C], and shall credit the account for any amount received by the Financial Institution by reason of the return of an Entry transmitted by the Financial Institution for which the Financial Institution has previously received payment from the Company. Such credit shall be made as of the day of such receipt by the Financial Institution. The Company shall at all times maintain a balance of available funds in the account sufficient to cover its payment obligations under this Agreement. In the event there are not sufficient available funds in the account to cover the Company's obligations under this Agreement, the Company agrees that the Financial Institution may debit any account maintained by the Company with the Financial Institution or any affiliate of the Financial Institution or that the Financial Institution may set off against any amount it owes to the Company, in order to obtain payment of the Company's obligations under this Agreement.

Upon request of the Financial Institution, the Company agrees to promptly provide to the Financial Institution information pertaining to the Company's financial condition. The

Financial Institution reserves the right to pull a credit report at any time to evaluate the Company's ongoing financial condition.

14. *Account Reconciliation and Periodic Statement.* The periodic statement issued by the Financial Institution for the Company's account will reflect Entries credited and debited to the Company's account. The Company agrees to notify the Financial Institution promptly of any discrepancy between the Company's records and the information shown on any such periodic statement. If the Company fails to notify the Financial Institution within 30 day(s) of receipt of a periodic statement, the Company agrees that the Financial Institution shall not be liable for any other losses resulting from the Company's failure to give such notice, including any loss of interest or any interest equivalent with respect to an Entry shown on such periodic statement. If the Company fails to notify the Financial Institution within 60 of receipt of a periodic statement, the Company shall be precluded from asserting such discrepancy against the Financial Institution.
15. *Company Representations and Agreements; Indemnity.* The Company agrees that (a) each person shown as the Receiver on an Entry received by the Financial Institution from the Company has authorized the initiation of such Entry and the crediting of its account in the amount and on the Effective Entry Date shown on such Entry, (b) such authorization is operative at the time of transmittal or crediting by the Financial Institution as provided herein, (c) Entries transmitted to the Financial Institution by the Company are limited to those types of Entries set forth in this Agreement, (d) the Company shall perform its obligations under this Agreement in accordance with all applicable laws and regulations, and (e) the Company shall be bound by and comply with the *Rules* as in effect from time to time, including without limitation the provision thereof making payment of an Entry by the Receiving Depository Financial Institution to the Receiver provisional until receipt by the Receiving Depository Financial Institution of final settlement for such Entry; and specifically acknowledges that if such settlement is not received, the Receiving Depository Financial Institution shall be entitled to a refund from the Receiver of the amount credited and the Company shall not be deemed to have paid the Receiver. The Company shall indemnify the Financial Institution against any loss liability or expense (including attorneys' fees and expenses) resulting from any breach of any of the foregoing agreements.
16. *Financial Institution Responsibilities; Liability; Limitations on Liability; Indemnity.*
  - (a) The Financial Institution shall be responsible only for performing the services expressly provided for in this Agreement, and shall be liable only for its negligence in performing those services. The Financial Institution shall not be responsible for the Company's acts or omissions (including without limitation to the amount, accuracy, timeliness of transmittal or due authorization of any Entry received from the Company) or those of any other person, including without limitation to any Federal Reserve Bank or transmission or communications facility, any Receiver or Receiving Depository Financial Institution (including without limitation to the return of an Entry by such Receiver or Receiving Depository Financial Institutions), and no such person shall be deemed the Financial Institution's agent. The Company agrees to indemnify the Financial Institution against any loss, liability or expense (including attorneys' fees and expenses) resulting from any

claim of any person that the Financial Institution is responsible for, any act of omission by the Company or any other person described in this Section.

- (b) The Financial Institution shall only be liable for the Company's actual damages due to claims arising solely from the Financial Institution's obligations to the Company with respect to Entries transmitted pursuant to this Agreement. In no event shall the Financial Institution be liable for any consequential, special, punitive or indirect loss or damage that the Company may incur or suffer in connection with this Agreement, including losses or damage from subsequent wrongful dishonor resulting from the Financial Institution's acts or omissions pursuant to this Agreement.
- (c) The Financial Institution shall be excused from failing to act or delay in acting if such failure or delay is caused by legal constraint, interruption of transmission, or communication facilities, equipment failure, war, emergency conditions or other circumstances beyond the Financial Institution's control. In addition, the Financial Institution shall be excused from failing to transmit or delay in transmitting an Entry if such transmittal would result in Financial Institution's having exceeded any limitation upon its intra-day net funds position established pursuant to Federal Reserve guidelines or if the Financial Institution reasonably believes it would violate any provision of any risk control program of the Federal Reserve or any rule or regulation of any other U.S. governmental regulatory authority.
- (d) The Financial Institution's liability for loss of interest resulting from its error or delay shall be calculated by using a rate equal to the average Federal Funds Rate at the Federal Reserve Bank of New York for the period involved. At the Financial Institution's option, payment of such interest may be made by crediting the Account.

17. *Compliance with Security Procedures.*

- (a) If an Entry (or a request for cancellation or amendment of an Entry) received by the Financial Institution purports to have been transmitted or authorized by the Company, it will be deemed effective as the Company's Entry (or request) and the Company shall be obligated to pay the Financial Institution the amount of such Entry (or request) even though the Entry (or request) was not authorized by the Company, whether or not the Financial Institution acted in compliance with the security procedure referenced in Schedule [A]. If signature comparison is to be used as a part of that security procedure, the Financial Institution shall be deemed to have complied with that part of such procedure if it compares the signature accompanying a file of Entries (or request) with the signature of an Authorized Representative of the Company and, on the basis of such comparison, believes the signature to be that of such Authorized Representative.

18. *Inconsistency of Name and Account Number.* The Company acknowledges and agrees that, if an Entry describes the Receiver inconsistently by name and account number, payment of the Entry transmitted to the Receiving Depository Financial Institution might be made by the Receiving Depository Financial Institution (or by the Financial Institution in the case of an On-Us Entry) on the basis of the account number even if it identifies a person different from

the named Receiver, and that the Company's obligation to pay the amount of the Entry to the Financial Institution is not excused in such circumstances.

19. *Payment for Services.* The Company shall pay the Financial Institution the charges for the services provided for herein set forth in Schedule [D]. The Financial Institution shall provide the Company written notification of changes in fees and services 30 calendar days prior to such changes going into effect. Such charges do not include, and the Company shall be responsible for payment of, any sales, use, excise, value-added, utility or other similar taxes relating to the services provided for herein, and any fees or charges provided for in this Agreement between the Financial Institution and the Company with respect to the Account.

20. *Amendments.* From time to time the Financial Institution may amend any of the terms and conditions contained in this Agreement, including without limitation, any cut-off time, any business day, and any part of the Schedules attached hereto. Such amendments shall become effective upon receipt of notice by the Company or such later date as may be stated in the Financial Institution's notice to the Company.

21. *Notices and Instructions.*

(a) Except as otherwise expressly provided herein, the Financial Institution shall not be required to act upon any notice or instruction received from the Company or any other person, or to provide any notice or advice to the Company or any other person with respect to any matter.

(b) The Financial Institution shall be entitled to rely on any written notice or other written communication believed by it in good faith to be genuine and to have been signed by an Authorized Representative, and any such communication shall be deemed to have been signed by such person. The names and signatures of Authorized Representatives are set forth in Schedule [E] attached hereto. The Company may add or delete any Authorized Representative by written notice to the Financial Institution signed by at least two Authorized Representatives other than that being added or deleted. Such notice shall be effective on the 5 business day following the day of the Financial Institution's receipt.

(c) Except as otherwise expressly provided herein, any written Agreement shall be delivered, or sent to the following unless another address is substituted by notice delivered or sent as provided herein. Except as otherwise expressly provided herein, any such notice shall be deemed given when received by:

Attention: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

And, if to Company, addressed to:

Attention: City State Bank

Address: P.O. Box 159 801 Main St.

City, State, Zip: Nowalk, Iowa 50211

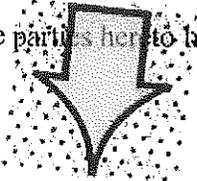
22. *Data Retention.* The Company shall retain data on file adequate to permit remaking of Entries for 5 days following the date of the transmittal by the Financial Institution as provided here, and shall provide such data to the Financial Institution upon its request.
23. *Third Parties.* The Company shall enter into contract with and assume full liability for any action made by any Third-Party Processor used by the Company at its discretion to initiate Entries on its behalf. The Company will notify the Financial Institution of the use of any Third-Party.
24. *Reversing Entries.* The Company shall notify the Receiver that a reversing Entry has been transmitted to the Receiver's account no later than the Settlement Date of the reversing Entry. This notification may be made by the Company's method of choice (fax, telephone, etc.).
25. *Audit.* The Financial Institution has the right to audit the Company's compliance with the *Rules*, U.S. law, and Financial Institution policies.
26. *Termination.* The Financial Institution reserves the right to suspend or terminate this Agreement for breach of any of the *Rules* or other violation of this Agreement in a manner that permits the Financial Institution to comply with the *Rules*. Termination is effective immediately upon written notice of such termination to the Company. Any termination of this Agreement shall not affect any of the Financial Institution's rights or the Company's obligations with respect to Entries transmitted prior to such termination, or the payment obligations of the Company with respect to services performed by the Financial Institution prior to termination. The Company may terminate this Agreement with 30 day(s) notice. Such termination shall be effective on the 3 business day following the day of the Financial Institution's receipt of written notice of such termination or such later date as is specified in that notice.
27. *Cooperation in Loss Recovery Efforts.* In the event of any damages for which the Financial Institution or the Company may be liable to each other or to any third-party pursuant to the services provided under this Agreement, the Financial Institution and the Company will undertake reasonable efforts to cooperate with each other, as permitted by applicable law, in performing loss recovery efforts and in connection with any actions that the relevant party may be obligated to defend or elects to pursue against any third-party.
28. *Entire Agreement.* This Agreement, including the Schedules attached hereto, together with the Account Agreement, is the complete and exclusive statement of the Agreement between the Financial Institution and the Company with respect to the subject matter hereof and supersedes any prior Agreement(s) between the Financial Institution and Company with respect to such subject matter. In the event of any inconsistency between the terms of this

Agreement and the Account Agreement, the terms of this Agreement shall govern. In the event performance of the services provided herein would result in a violation of any present or future statute, regulation or government policy to which the Financial Institution is subject to, and which governs or affects the transactions contemplated by this Agreement, then this Agreement shall be deemed amended to the extent necessary to comply with such statute, regulation or policy, and the Financial Institution shall incur no liability to the Company as a result of such violation or amendment.

29. *Non-Assignment.* The Company may not assign this Agreement or any of the rights or duties hereunder to any person without the Financial Institution's prior written consent.
30. *Waiver.* The Financial Institution may waive enforcement of any provisions of this Agreement. Any such waiver shall not affect the Financial Institution's rights with respect to any other transaction or modification of the terms of this Agreement.
31. *Binding Agreement; Benefit.* This Agreement shall be binding upon and to the benefit of the parties hereto and their respective legal representatives, successors, and assigns. This Agreement is not for the benefit of any other person, and no other person shall have any right against the Financial Institution or the Company hereunder.
32. *Severability.* In the event that any provision of this Agreement shall be determined to be invalid, illegal or unenforceable to any extent, the remainder of this Agreement shall not be impaired or otherwise affected and shall continue to be valid and enforceable to the fullest extent permitted by law.

**SIGN  
HERE**

IN WITNESS WHEREOF the parties hereto have caused this Agreement to be executed by their duly authorized officers.



\_\_\_\_\_  
Company

City State Bank  
Financial Institution

\_\_\_\_\_  
Signed By

Diane Harmering  
Signed By

\_\_\_\_\_  
Printed/Typed Name

Diane Harmering  
Printed/Typed Name

\_\_\_\_\_  
Title

VP  
Title

**Schedule (A)**  
**ACH Transmittal and Security Procedures**

All files will be formatted in a NACHA or other pre-approved format; transmission specifications will be established by Financial Institution.

**Security Procedures**

- (a) The Financial Institution shall be entitled to rely on any written notice or other written communication believed by it in good faith to be genuine and to have been signed by the Authorized Representative, and any such communication shall be deemed to have been signed by such person.
- (b) The Financial Institution will not be responsible for verifying the authenticity of any person claiming to be an Authorized User of the Company or the authenticity of any instruction, direction or information provided.
- (c) The Financial Institution may, but is under no obligation to, hold suspicious files, files that do not adhere to established security, exceed exposure limits, violate the terms of this Agreement or the *Rules*, or for other reasons. Such files will require authorization by an Authorized Representative of the Company before transmission to the ACH Operator.
- (d) The Financial Institution requires the following minimum levels of network and computer security for all Originators:
  - Reliable, current and fully patched Security Suites including, at minimum, anti-virus, anti-malware, anti-botnet, and anti-spyware.
  - Hardware and software Firewalls.
  - Process to patch systems timely.
  - Written security policy and procedures designed to protect the Company's network from unauthorized access (i.e. data breach) and avoid disclosing Protected Information (i.e. account numbers, social security numbers, etc).
  - Regular employee training.

The Company shall supply evidence to the Financial Institution of the above security within 30 business days of such request.

- (e) *Account Security*: The Financial Institution requires the following account security
  - One-Time Use PIN / Token technology.
  - Out of Band Authentication (indicate type: Call Backs, Email Verification, IP Address Authentication, SMS Code, etc).
  - The Company will not process files using Administrator credentials.
  - New or altered credentials will require authorization before becoming active.

**Electronic File Transmission**

The Company will transmit files to City State Bank, 801 Main Street, Norwalk, Iowa 50211 515-981-4234. The Company's Authorized Representative will have access to the ACH system by utilizing the pre-arranged logon procedures, remote ID, and file ID.

The Company's Authorized Representative will provide the Financial Institution with verification of the totals contained in the transmission by sending a facsimile transmission to the Financial Institution's Contact. In the event that the Company or the Authorized Representative is unable to fax the information, the Company's Authorized Representative will telephone the Financial Institution's Contact with the verification.

The Financial Institution will anticipate the receipt of an ACH file transmission from the Company on each scheduled processing date identified by the Company in writing and agreed to by the Financial Institution. The Company is responsible for ensuring that the Financial Institution receives the transmission on each processing date indicated in the processing schedule. The Company's Authorized Representative will notify the Financial Institution if a transmission will not take place on the prearranged scheduled processing date.

The Financial Institution will verify that the file totals agree with the Company information given by fax or phone. In the event of a discrepancy in the totals, the Financial Institution will call the specified Company Authorized Representative designated by an authorized signatory of the Company. If an Authorized Representative is not available for notification, the file will not be processed until the Company's Authorized Representative can be contacted on the next business day.

The Company is solely responsible for the accurate creation, modification, and deletion of the account information maintained on the Company's personal computer and used for ACH money transfer. The Company agrees to comply with written procedures and security enhancements provided by the Financial Institution for the creation, maintenance, and initiation of ACH money transfers.

The Company is solely responsible for access by its employees of the data files maintained on the Company's computer.

The Company is responsible for operator security procedures on the one computer licensed for use of the program.

**Schedule [B]**  
**ODFI Processing Schedule**

Consumer *Debit* Transactions

<b>Delivery Method</b>	<b>Deadline</b>	<b>Day of Delivery</b>
Transmission- Direct Online Banking	<u>4:00</u> p.m.	<u>2</u> Business Days Prior to Effective Entry Date

Consumer *Credit* Transactions

<b>Delivery Method</b>	<b>Deadline</b>	<b>Day of Delivery</b>
Transmission- Direct Online Banking	<u>4:00</u> p.m.	<u>2</u> Business Days Prior to Effective Entry Date

**Schedule [C]  
Account Agreement**

This schedule identifies the Company Account(s) to which settlement should be applied for origination of Entries or settlement of return Entries. In the case of Cash Concentration Entries, this schedule may clearly define the accounts to be swept, the frequency of scheduled transfers or other information specific to the activity of the accounts.

Account Name

Account Number and type

City of Sevier

1007297 DDA

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**Schedule [D]  
ODFI Fee Schedule**

**Regular Monthly Fees**

Debit Items Originated	\$ <u>.05</u>
Reversing/Correcting Debit Items Originated	\$ <u>.05</u>
Credit Items Originated	\$ <u>.05</u>
Reversing/Correcting Credit Items Originated	\$ <u>.05</u>
Per File Origination Fee	\$ <u>5.00</u>
Prenote Items Originated	\$ <u>.05</u>
Addenda Records Originated	\$ <u>          </u>
Return Items and Notifications of Change Received	\$ <u>1.00</u>
Minimum Monthly Fee	\$ <u>25.00</u>

**Schedule [E]  
ACH Authorized Signature Form**

All ACH transaction files/listings must be delivered with a transmittal document with authorized signature(s).

Date: \_\_\_\_\_  
Company: City of Genesee  
Company ID Number: 42-6004731  
Account Number: 1007297

Printed Name	Signature
1.	
2.	
3.	
4.	
5.	
6.	

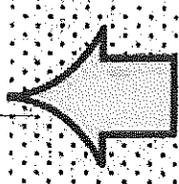
**SIGN  
HERE**

Verification E-Mail address(s)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**HERE**

Authorized Signature



**SIGN  
HERE**

Title

**Schedule [F]  
Exposure Limit Disclosure**

**Credit Origination**  
Maximum File Value

\$ 85,000

**Debit Origination**  
Maximum File Value

\$ 85,000

**Schedule [G]  
Class Types Allowed**

       **CCD:** Corporate Credit or Debit

An entry originated by an Organization to or from the account of that Organization or another Organization.

       **CTX:** Corporate Trade Exchange

Same as a CCD, but accompanied by an Addenda Record.

  X   **PPD:** Prearranged Payment and Deposit

An entry originated by and Organization to or from a consumer account based on a standing or a single entry authorization from the receiver.

A check indicates authorization to originate a class type.

# ACH Origination Annual Training Certification Form

**\*Please note that this form is for business customers of City State Bank only.**

An ACH Origination Agreement has been executed between you and City State Bank. The Agreement allows the origination and submission of ACH transactions using the secure system. As a condition of the service, customers are expected to install procedures that provide safe and sound ACH organizations. Security and privacy procedures related to these transactions must be implemented to prevent the improper creation, approval, and submission of transactions to the bank. Your systems and procedures must also prevent the unauthorized access of the confidential information they may contain.

Use this worksheet as a tool for you, as the Company, to evaluate the risks and security issues related to ACH origination. All of your answers should be "Yes," and anything answered "NO" should be addressed as soon as possible.

Contact City State Bank's ACH Department at (515) 981-4234 should you require any assistance in completing this form.

## Questionnaire

An ACH ODFI Origination agreement was executed with the bank that explains all your duties and obligations related to ACH origination Service. You know that the ACH Rules which govern this service can be obtained in your copy of the Corporate Rule Book or at [www.nacha.org](http://www.nacha.org) at your own expense. You are only originating PPD, CCD, or CTX entries. (If No, do not contact the bank to get entry approvals.)

\_\_\_\_\_ Yes                  \_\_\_\_\_ No

An ACH authorization form for all customers, vendors, or employees that are receiving ACH's from you (either debits or credits) is on file and is kept in a secure location in your office. (If No, do not submit the entry until it is properly authorized.)

\_\_\_\_\_ Yes                  \_\_\_\_\_ No

All ACH transactions are to US financial institutions only...No foreign countries.

\_\_\_\_\_ Yes                  \_\_\_\_\_ No

All the security procedures for creating, balancing, approving and submitting the ACH transactions are conducted in accordance to the agreement/systems.

\_\_\_\_\_ Yes                  \_\_\_\_\_ No

Adequate funds are in place to cover ACH transactions prior to the Effective Entry Date.

Yes  No

Appropriate steps are taken to ensure that all User ID's, Passwords, and authentication methods (tokens) and any other applicable security procedure issued to your employees are protected and kept confidential. (If No, contact the bank to reset or establish unique IDs and passwords.)

Yes  No

The Bank will be notified of any suspicious activity. Examples include: unexpected password compromise, unknown transactions, suspected embezzlement or other security incidents that might compromise your computer or network security.

Yes

All computer equipment used to operate ACH transactions is regularly updated and patched for security (including use of and updating of firewall, anti-virus protection, anti-malware protection.) In addition, such equipment is located in a reasonably secure, location that permits access only to authorized personnel.

Yes  No

List any firewall, anti-virus protection, anti-malware protection, and anti-spam protection on the Computer used for ACH origination as well as the version level:

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## Certification

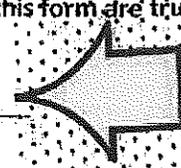
I have read the above and understand that our company is responsible for all ACH's originated with User ID's issued to us. I also verify that the representations made on this form are true and correct the best of my knowledge.

Company Name(s) \_\_\_\_\_

Printed Name \_\_\_\_\_

Signature/Date \_\_\_\_\_

**(Must be an individual with signing authority)**



**SIGN  
HERE**

## *City State Bank*

To whom it may concern:

Below is our annual update on your responsibilities as an Originator of ACH entries. Please review them to stay informed of what is required of you.

1. The Originator must obtain the Receiver's authorization for entries, and that copies of such authorizations are provided to the Receiver in accordance with the requirements of NACHA rules.
2. The Originator must retain the original or a copy of each written authorization of the Receiver for two years from the termination or revocation of the authorization.
3. If Originators choose to initiate pre-notifications, such pre-notifications are sent as required by the NACHA rules. An Originator that has originated a pre-notification entry to a Receiver's account may initiate subsequent entries to the Receiver's account as soon as the third (3<sup>rd</sup>) banking day following the settlement date of the pre-notification entry.
4. When entries are returned R07 – Authorization Revoked by Customer, R08 – Payment Stopped, or R10 – Customer Advises Not Authorized are not reinitiated unless subsequent authorization from your customer has been obtained, and entries returned as R05 – Unauthorized Debit to Customer Account using Corporate SEC Code are not reinitiated unless (a) subsequent authorization from your customer has been obtained, and (b) the Standard Entry Class Code has been corrected.
5. Entries returned for R01 – Insufficient Funds and R09 – Uncollected Funds are not reinitiated in excess of the limits prescribed by NACHA rules.
6. Upon receipt of returns relating to pre-notifications indicating that the RDFI cannot accept such entries, such entries are not initiated.
7. Upon receipt of Notifications of Change (NOCs), requested changes should be made within six (6) banking days or prior to the initiation of the next entry, whichever is later.
8. Reversing files or reversing entries are transmitted to the Receiving ACH Operator in such time as to be transmitted or made available to the RDFI within five (5) banking days following the settlement date of the erroneous entry or file.

City State Bank will also provide access to the 2016 NACHA Operating Rules & Guidelines at your request. If interested, please contact Sarah McPherson / 515-981-1392 / [smcpherson@citystatebank.com](mailto:smcpherson@citystatebank.com).

I have enclosed an acknowledgement that must be signed and returned to City State Bank.

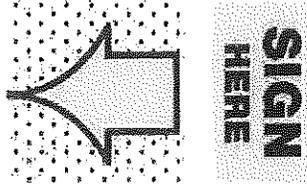
Sincerely,

Sarah McPherson

2016 ACH Training Acknowledgement

I understand that City State Bank is required to keep Originators and Third-Party Senders informed of their responsibilities in regards to NACHA Operating Rules & Guidelines. By signing below I am acknowledging that I have been informed by City State Bank of my responsibilities and obligations relating to compliance with the NACHA Operating Rules and Guidelines. I am also aware that City State Bank will provide access to the current NACHA Operating Rules & Guidelines as per my request.

\_\_\_\_\_  
Company Name



\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



City of Grimes Iowa  
101 NE Harvey Street  
Grimes, IA 50111

RECEIVED JUN - 6

Dear City Clerk:

The purpose of this letter is to request a firework permit for Cutty's Des Moines Camping Club, Inc. fireworks displays scheduled for Saturday, July 3rd and Saturday October 1, 2016 at 10500 N.W. 54<sup>th</sup> Avenue. Enclosed you will find a device list, and insurance coverage.

No overnight storage is required. Delivery will be made on the day of the show by our vehicle in full compliance with DOT regulations, including an authorized emergency response number, \$10,000,000 transportation insurance, hazmat trained CDL driver, and an inspected and placarded vehicle.

A shoot team has not been assigned as yet for this display. We can submit information on the crew if you require it. As per Federal regulations, we have submitted information on all of our shooters to the A.T.F. for their Letter of Clearance.

Please feel free to contact us with any questions pertaining to the safe transport, use, permitting, storage or anything else pertaining to fireworks. We will be happy to assist in any way we can. Once approval is granted would you please email my assistant Shelene a copy of the approved permits to [shelenej@jandmdisplays.com](mailto:shelenej@jandmdisplays.com) for our records?

Thank you,

Mark R. Johnson  
Vice President

18064 170th Avenue,  
Yarmouth, Iowa 52660-9772  
1-800-648-3890  
Fax: 1-319-394-3265  
Email: [main@jandmdisplays.com](mailto:main@jandmdisplays.com)  
[www.jandmdisplays.com](http://www.jandmdisplays.com)



July 3, 2016 Display

**Total Shell summary for Proposal 14570 Cutty's Des Moines Camping**

**Multi-shell Barrage Units**

Diameter: 0"	Quantity: 4	shell count: 224
Diameter: 0.75"	Quantity: 2	shell count: 50
Diameter: 1.2"	Quantity: 6	shell count: 230
Total Quantity: 12		Total shell count: 504

**Shells**

Diameter: 3"		shell count: 64
Diameter: 4"		shell count: 68
		Total shell count: 132

**Total shell count: 636**

October 1, 2016 Display

**Total Shell summary for Proposal 14571 *Cutty's Des Moines Camping***

**Multi-shell Barrage Units**

Diameter: 0"	Quantity: 4	shell count: 224
Diameter: 0.75"	Quantity: 1	shell count: 25
Diameter: 1.2"	Quantity: 5	shell count: 167
Total Quantity: 10		Total shell count: 416

**Shells**

Diameter: 3"	shell count: 66
Total shell count: 66	

**Total shell count: 482**



P.O. No. \_\_\_\_\_

18013

# CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

## PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Carroll Construction Supply  
Name

4529 NE 7th Des Moines IA 50313  
Address

515-280-1122  
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Washout Box (Bldg)	39	69.801	2,722.24
EZ Washout Bag (City Projects)	34	8.988	305.59

PURCHASE JUSTIFICATION: Washout box for builders/DNR compliance ; EZ Washout Bag for City projects

DEPARTMENT: Bldg & Public Works

LINE ITEM: \_\_\_\_\_

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: [Signature] DATE: 6/7/16

### PURCHASE ORDER APPROVAL AND ASSIGNMENT

[Signature] 6-7-16  
Kelley L. Brown City Administrator/Clerk ed Date

Council Approval date: (if over \$2500)

- Purchaser's Copy     
 Vendor's Copy     
 File Copy



# O'Halloran INTERNATIONAL

R100041263:01

  
**Des Moines Carroll  
Cherokee Fort Dodge**

3311 ADVENTURELAND DRIVE - ALTOONA, IA 50009 P (515) 967-3300 - F (515) 967-0206 - www.ohallorans.com

BILL TO

CUSTOMER COPY

**TAG: 227**

**SERVICE INVOICE**

CITY OF GRIMES  
101 N. HARVEY ST

GRIMES IA US 50111

PHONE  
(515) 986-3036  
Email:

R100041263:01		
DATE CREATED	DATE INVOICED	
04/25/2016	05/20/2016	
CUST. PO NUMBER	AUTH #	
	000000	
UNIT NUMBER	VIN	
39	1HTWAAAN7BJ341760	
COST CENTER	TERMS	CUST. NO.
	AR30	10770
MILES IN	MILES OUT	ENGINE HRS
11,039	11,039	1,009
CUSTOMER		
CITY OF GRIMES		

R100041263:01

Inquires:

customerservice@ohallorans.com

DTU DATE	YR	MAKE	MODEL	ENGINE SERIAL #	PMT CODE	ADVISOR
11/23/2010	2011	INTERNATIONAL	7300 SFA 4X2	3301800	SRET	PETE BECK

JOB #2	A12-000	SRET	ENGINE-INTERNATIONAL
--------	---------	------	----------------------

**CONDITION** UNIT IS ASKING FOR CONSTANT REGENS - DPF IS FLASHING

**CAUSE** INTAKE THROTTLING VALVE GROMMET BROKEN CAUSING A MASSIVE BOOST LEAK

**CORRECTION** RAN ENGINE UP TO TEMPERATURE, RAN STANDARD TEST AND TRUCK PASSED. RAN AIR MANAGEMENT TEST, TRUCK HAS EGR LOW FLOW CODE. PERFORMED BOOST BRAKE STAND AND MONITORED BOOST, TRUCK ONLY BUILT UP 6PSI OF BOOST. INSPECTED PIPING FOR CAC WHILE RUNNING AND FOUND THE INTAKE THROTTLING VALVE GROMMET BROKEN CAUSING A MASSIVE BOOST LEAK, AND THE CRIMP BANDS ON THE HOT AND COLD SIDE CAC PIPES ARE LEAKING. REMOVED CAC PIPES, REPLACED ALL CAC PIPING RUBBER HOSE SECTIONS. RAN A FORCED REGEN. RAN SECOND REGEN SOOT LOADING WENT FROM 180 TO 150. CLEANED EXHAUST BACK PRESSURE VALVE SURFACES, INSTALLED DOSER AND NEW COOLANT LINES. INSTALLED BACK PRESSURE VALVE WITH NEW CLAMPS.

QTY	ITEM	DESCRIPTION	NET PRICE	EXTD PRICE
		LABOR		575.00
1	100N/1888103C3	FITTING THROTTLE COUPLING	51.32	51.32
1	100N/1891330C93	KT TUBE KIT BOOST TUBE WITH C	43.94	43.94
1	100N/3872250C1	HOSE FLEXIBLE AIR	44.16	44.16
1	100N/3718791C1	HOSE FLEXIBLE AIR CAC 3.0" DI	72.72	72.72
4	100N/3557858C1	CLAMP HEAT EXCHANGER	25.91	103.64
4	100N/3557856C1	CLAMP HEAT EXCHANGER	36.19	144.76
1	100N/3872262C1	HOSE FLEXIBLE AIR CAC 3.0" DI	82.93	82.93
1	100N/3872278C1	HOSE FLEXIBLE AIR CAC 4" DIA	65.46	65.46
1	100N/1889332C92	KT SEAL KIT TURBOCHARGER SE	225.13	225.13
1	100B/BG406	CLEANER, THROTTLE BODY	8.86	8.86
1	100N/2512460C1	COOLER FLUID, CLEANING (5 GAL	163.92	163.92



**IDEALEASE**



# O'Halloran INTERNATIONAL

R100041263:01

Des Moines Carroll  
Cherokee Fort Dodge

1	100N/3018016C2	GASKET, HC INJ	45.93	45.93
1	100N/3869550C1	CLAMP EXHAUST PIPE V-BAND V	32.15	32.15
1	100N/2015983C1	GASKET EXH PIPE FLANGE	18.35	18.35
1	FRT	FREIGHT	12.05	12.05

Labor:\$575.00      Parts: \$1,115.32      Other: \$0.00      SubTotal for Job: \$1,690.32

\*INVOICE TOTAL ON LAST PAGE

**JOB #3 A12-000      SRET      ENGINE-INTERNATIONAL**

**CONDITION**      OPEN CRANK CASE BREATHER UPDATE

**CAUSE**      OPEN BREATHER

**CORRECTION**      REMOVED CCROSS SPINNER. REMOVED VALVE COVER, THEN INSTALLED NEW VALVE COVER. INSTALLED NEW CCOS SPINNER. RE-ROUTED THE BELT CORRECTLY. HOOKED UP AND CLEANED CAC. CHANGED OIL AND FILTER. VAC FILLED COOLANT. BLEW OUT CAC AND SUCKED REMAINING WATER OUT WITH SIPHON GUN. HOOKED UP CAC PIPES. INSTALLED FENDER. CLEARED FAULTS AND TOOK FOR ROAD TEST. NO ISSUES. CHECKED FOR LEAKS, ALL OK.

QTY	ITEM	DESCRIPTION	NET PRICE	EXTD PRICE
		LABOR		875.00
1	100N/2512559C91	KT BRTHR.KIT, OPEN BREATHER (	1,039.78	1,039.78
1	100N/1884508C2	FILTER, ASSY OIL	78.25	78.25
32	100S/15W40	MOTOR OIL	3.36	107.52
30	100S/15W40	MOTOR OIL	3.36	100.80
2	100N/FLTUELCL5050G	FLUID,FLEETRITE UELC 5050 GAL	15.23	30.46

Labor:\$875.00      Parts: \$1,356.81      Other: \$0.00      SubTotal for Job: \$2,231.81

\*INVOICE TOTAL ON LAST PAGE

**JOB #4 A12-000      SRET      ENGINE-INTERNATIONAL**

**CONDITION**      UNIT LOOSING COOLANT, NO EXTERNAL LEAKS

**CAUSE**      EGR COOLER

**CORRECTION**      DRAINED COOLANT, THEN REMOVED ALTERNATOR AND BELT TENSIONER AND IDLER PULLEY, REMOVED ALT BRACKET AND SUPPLY AND RETURN EGR COOLER TUBES, PRESSURE TESTED AND EGR COOLER LOOSES PRESSURE. REMOVED TURBO HEAT SHIELDS, TURBOS, EXHAUST BRAKE AND FLEX PIPE. REMOVED EGR COOLER. INSTALLED NEW EGR COOLER, PUT TURBOS BACK TOGETHER AND INSTALLED THE TURBOS. PUT ALT BRACKET, TENSIONER AND IDLER PULLEY BACK ON. INSTALL ALTERNATOR ON AND INSTALLED BELT. UT AIR CLEANER ON.

QTY	ITEM	DESCRIPTION	NET PRICE	EXTD PRICE
		LABOR		1,250.00
1	100N/1889336C98	KT COOL.KIT, EGR COOLER -HIGH	1,634.13	1,634.13
1	100N/7078618C1	TUBE ASSY INJECTOR COOLER OI	45.65	45.65
1	100N/7078617C1	TUBE ASSY INJECTOR COOLER IN	39.45	39.45
2	100N/2015983C1	GASKET EXH PIPE FLANGE	18.35	36.70
1	100N/6117238C1	GASKET EXH PIPE FLANGE , 3.5 I	6.21	6.21
1	100N/7080388C92	TUBE, ASSY COOLANT RETURN	63.33	63.33
1	100N/1885590C93	TUBE ASSY, TURBO OIL SUPPLY	111.00	111.00
1	100N/1891330C93	KT TUBE,KIT BOOST TUBE WITH (	43.94	43.94





# O'Halloran INTERNATIONAL

R100041263:01

Des Moines Carroll  
Cherokee Fort Dodge

1	100N/1885693C1	CLAMP V-BAND	57.44	57.44
(1)	100N/1889336C98-CORE	KT COOL,KIT, EGR COOLER -HIGH	420.00	-420.00
1	100N/1889336C98-CORE	KT COOL,KIT, EGR COOLER -HIGH	420.00	420.00
Labor:\$1,250.00			Parts: \$2,037.85	Other: \$0.00
				SubTotal for Job: \$3,287.85

\*INVOICE TOTAL ON LAST PAGE

I authorize the above repair work to be done along with the necessary parts and materials and grant permission to operate the vehicle herein described for purpose of testing and/or inspection. An express mechanic's lien is hereby acknowledged on the vehicle to secure the amount for repairs thereto, and I further agree that a storage charge of \$10.00 per day will accrue, beginning five (5) days after I am notified that the repairs have been completed. I agree that O'Halloran International, Inc. ("OHI") is not responsible for loss or damage to vehicle or articles left in vehicle in case of fire, theft, an act of god or any other cause beyond OHI's control or for delays caused by unavailability of parts or delays in parts shipments by the supplier or transporter. In consideration of OHI extending credit to me after receipt of my statement, I further agree to pay a monthly service charge of 1.5% on any overdue balances, and all costs of collection including reasonable attorney's fees. In exchange for OHI agreeing to make repairs, I hereby assign to OHI all rights, title and interest in any insurance proceeds. OHI is hereby appointed my true and lawful attorney in fact to demand and receive payments, to endorse any negotiable instruments in my name, and otherwise enforce the provisions of any insurance contract. The only warranties applying to part(s) are those which may be offered by the manufacturer. The selling dealer hereby expressly disclaims all warranties, either express or implied, including any implied warranties of merchantability or fitness for a particular purpose, and neither assumes nor authorizes any other person to assume for it any liability in connection with the sale of part(s) and/or service. Buyer shall not be entitled to recover from the selling dealer any consequential damages, damage to property, damages for loss of use, loss of time, loss of profit, or income, or any other incidental damages. Manufacturer's parts and labor are guaranteed for 12 months or 12,000 miles whichever occurs first. Part cores must be returned in the original packaging, fully assembled and drained of all fluids within 90 days from date of purchase to receive credit. No return on electrical items or special ordered parts without OHI's prior approval. All returns are subject to a 25% restocking fee. Freight or shipping charges will not be refunded on special ordered parts.

MISC CHARGES	12.05
PARTS	4,497.93
LABOR	2,700.00
SUBLET	0.00
SHOP SUPPLIES	125.00
TAX	0.00
	0.00
<b>INVOICE TOTAL</b>	<b>7,334.98</b>

Please Remit Payment to:  
O'HALLORAN INTERNATIONAL, INC.  
P.O. BOX 1804  
DES MOINES, IA 50305-1804  
O'Halloran International now offers you  
the option of receiving invoices via email.  
Contact customerservice@ohallorans.com  
and sign up today!

SIGNATURE X

DATE



**IDEALEASE**

17791 ✓

# CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

## PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier O'Halloran  
Name

3311 Adventureland Dr Altoona IA 50009  
Address

Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Parts			\$ 4497.93
Labor			\$ 2700.00
Shop Supplies - Diagnostics			125.00
MISC			<del>634.16</del> 12.00
			7334.98

### PURCHASE JUSTIFICATION:

Truck 39 - Engine cooler replacement, Diesel regeneration system replacement and Air breather replacement

DEPARTMENT: Equipment Repairs/Maintenance

LINE ITEM: \_\_\_\_\_

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: [Signature] DATE: 5-6-16  
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown City Administrator/Clerk

Date

6-14-16

Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



**MUNICIPAL SUPPLY, INC.**

*Municipal, Contractor, and Industrial Supplies*

1550 N.E. 51st Avenue Des Moines, Iowa 50313  
 PH: (515) 262-1300 FAX: (515) 262-6662  
 WATS (800) 747-2025

INVOICE NUMBER: 0623515-IN  
 INVOICE DATE: 5/26/2016

ORDER NUMBER:  
 ORDER DATE:  
 SHIP DATE: 5/23/2016  
 SALESPERSON: C. ALAN BURNHAM  
 CUSTOMER NO: 10-GRIMES

RECEIVED MAY 31

SOLD TO:  
**CITY OF GRIMES**  
 101 N E HARVEY  
 GRIMES, IA 50111

SHIP TO:  
**CITY OF GRIMES**  
 101 N E HARVEY  
 GRIMES, IA 50111

BUYER:

CUSTOMER P.O.	JOB NAME			SHIP VIA	TERMS	
JAKE				AL	NET 30 DAYS	
ITEM NO.	UNIT	ORDERED	SHIPPED	BACK ORD	PRICE	AMOUNT
C23XXXXG1GAXX 2" C2 OMNI COMP MTR 1000G 15 1	EACH	4.00	4.00	0.00	1,432.000	5,728.00
CF31-77NL 2" NL BRONZE MTR FLANGE TAPT 2	EACH	8.00	8.00	0.00	63.700	509.60
75C300BSQ0Z 3/4" X 3" PLTD SQ HEAD BOLT	EACH	16.00	16.00	0.00	1.700	27.20
75CNFHB 3/4" BRASS FINISH HEX NUT	EACH	16.00	16.00	0.00	1.650	26.40
M510RC13W3WAL DUAL PORT WIRED MXU	EACH	108.00	108.00	0.00	141.000	15,228.00

ORDER# 480738

600-5-810-6350.3  
 CC 6-14-16

Net Invoice: 21,519.20  
 Freight: 0.00  
 Sales Tax: 0.00  
**Invoice Total: 21,519.20**

**A SERVICE CHARGE OF 1 1/2% WITH A MINIMUM OF \$1.00 PER MONTH  
 WILL BE CHARGED ON ALL PAST DUE ACCOUNTS.**

P.O. No. \_\_\_\_\_

17987 ✓

# CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

## PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Municipal Supply  
Name

Des Moines  
Address

Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
<u>Meters</u>			<u>21,519.20</u>

PURCHASE JUSTIFICATION: Dist.

DEPARTMENT: 600-5-810-6350.3

LINE ITEM: \_\_\_\_\_

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: A. Brown DATE: 6-2-16  
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown  
Kelley L. Brown City Administrator/Clerk msh

6-2-16  
Date

6-14-16  
Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



www.iowadot.gov

RECEIVED MAY 16

May, 10, 2016

**District 1 Office**

1020 S. 4<sup>th</sup> Street, Ames, IA 50010

Phone: 515.239.1194 | Email: scott.dockstader@dot.iowa.gov

County Polk

Project No. NHSX-141-7(42)--3H-77

Notification Letter No. 2016-M-216

The Honorable Tom Armstrong  
Mayor of Grimes  
101 NE Harvey Street  
Grimes, IA 50111

RE: Portland Cement Concrete (PCC) Pavement -  
Grade and New on Iowa 141

Dear Mayor Armstrong:

This is official notification to your City Council that the Iowa Department of Transportation (DOT) proposes to let a PCC pavement - grade and new project on Iowa 141 from Iowa 44 to just north of the I-35/80 interchange on October 18, 2016. A part of said project lies within the city.

The work will be done in accord with the current Form 810034 "Agreement for Primary Road Extension Maintenance and Operation". Project costs will be paid from the Primary Road Fund and no charges will be made against the City.

The project is proposed for construction during 2017.

Subject to the approval of, and without expense to the DOT, the City agrees to perform (or cause private utilities to perform), all relocations, alterations, adjustments or removals of existing utility facilities including but not limited to power, telephone and telegraph lines, natural gas pipelines, water mains and hydrants, curb boxes, utility accesses, sanitary sewers, and related poles, installations and appurtenances, whether privately or publicly owned, and all other facilities or obstructions which are located within the limits of an established street or alley and which will interfere with construction of the project, all in accordance with the Utility Accommodation Policy of the DOT.

Resident Engineer, Danielle Mulholland, of Grimes, Iowa, telephone number 515-986-2851, will be in charge of this project.

We would appreciate this project notification being included on your next City Council meeting agenda as a matter of information for the Council members.

If you have any questions concerning the work involved, please Danielle Mulholland as soon as possible in order to expedite any possible changes.

Sincerely,

Scott A. Dockstader, P.E.  
District 1 Engineer

cc: Deanne Popp, Office of Local Systems - DOT  
Danielle Mulholland, Grimes RCE Office  
Agreement/project file



**DATE: June 7, 2016**

**City of Grimes  
Planning Department  
Kelley Brown**

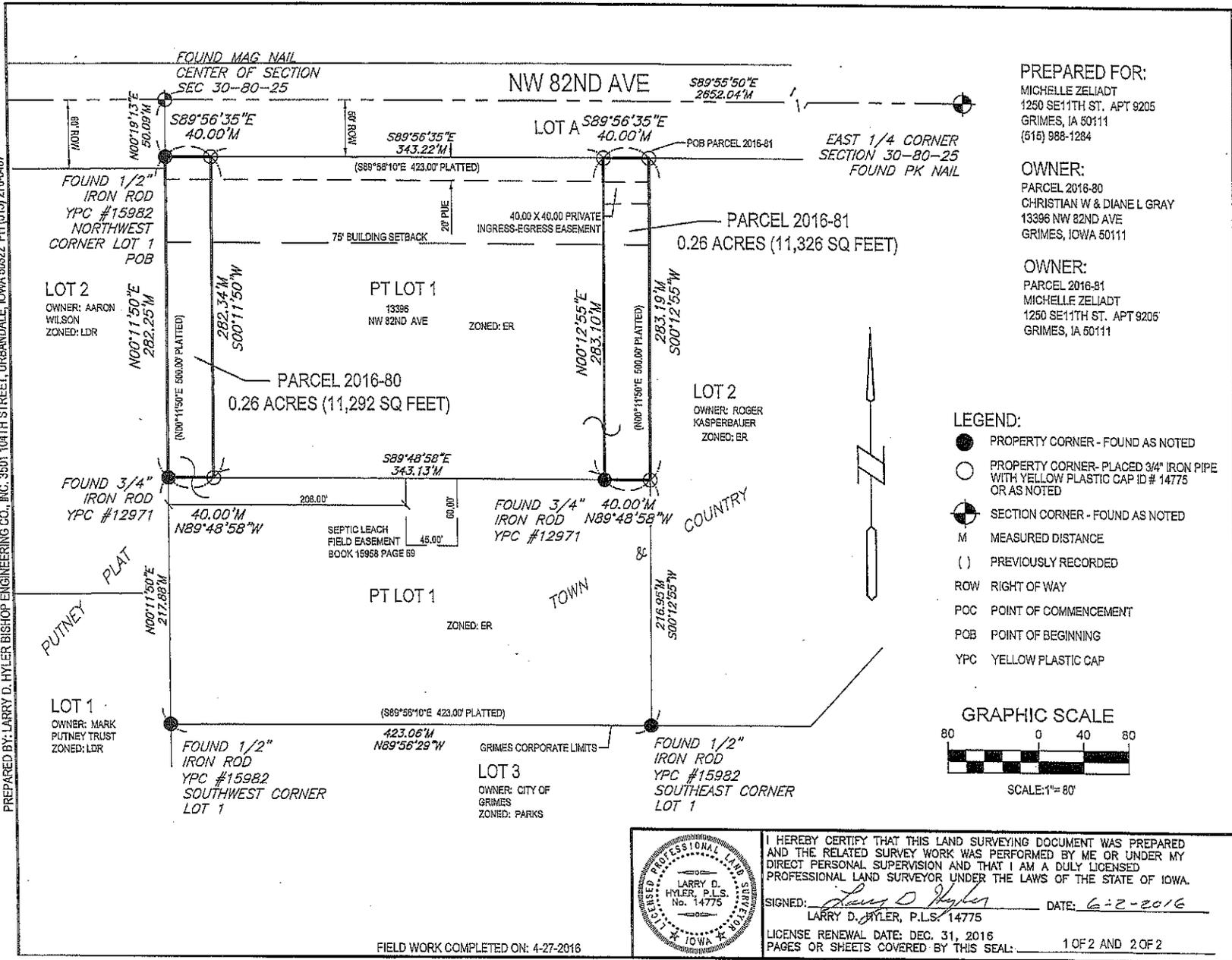
**Bishop Engineering is submitting a Plat of Survey for Lot 1, Town and Country, an Official Plat in Polk County. The Lot exists with a parcel in the front half and a second owner in the back portion. The access to the rear portion is through a 40 foot wide strip along the east side of the Lot. The owners have agreed to move the 40 foot strip to the west side of the Lot. Each owner will deed to the other the respective 40 foot parcel.**

**The County has already approved the Plat of survey and is asking Grimes to sign off on it prior to Recording. This parcel is currently outside the City Limits and we are asking Grimes to waive their review.**

**Respectfully,**

**Larry Hyler PLS**

PREPARED BY: LARRY D. HYLER BISHOP ENGINEERING CO., INC. 3501 104TH STREET, URBANDALE, IOWA 50322 PH (515) 275-0467



PREPARED FOR:  
MICHELLE ZELIADT  
1250 SE11TH ST. APT 9205  
GRIMES, IA 50111  
(515) 988-1284

OWNER:  
PARCEL 2016-80  
CHRISTIAN W & DIANE L GRAY  
13396 NW 82ND AVE  
GRIMES, IOWA 50111

OWNER:  
PARCEL 2016-81  
MICHELLE ZELIADT  
1250 SE11TH ST. APT 9205  
GRIMES, IA 50111

**Bishop Engineering**  
"Training Your Successful Development"

3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515) 276-0467 Fax: (515) 276-0217  
Civil Engineering & Land Surveying  
Established 1959

**LOT 1 TOWN & COUNTRY**  
**GRIMES, IOWA**

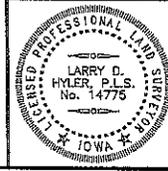
**PLAT OF SURVEY**

REFERENCE NUMBER:  
99-26p  
150450

DRAWN BY:  
LW

PROJECT NUMBER:  
160186

SHEET NUMBER:  
1 OF 2



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: *Larry D. Hyler* DATE: 6-2-2016  
LARRY D. HYLER, P.L.S. 14775

LICENSE RENEWAL DATE: DEC. 31, 2016  
PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 2 AND 2 OF 2

LAND WORK COMPLETED ON: 4-27-2016

PREPARED BY: LARRY D. HYLER BISHOP ENGINEERING CO., INC. 3501 104TH STREET, URIBANDALE, IOWA 50322. PH (515) 276-0467

**PROPERTY DESCRIPTION:**

PARCEL 2016-80  
A RECTANGULAR SHAPED PORTION OF LOT 1, TOWN & COUNTRY, AN OFFICIAL PLAT, POLK COUNTY, IOWA, AS RECORDED IN BOOK 9556 AT PAGE 412, IS DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE S89°58'35"E ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 40.00 FEET; THENCE S00°11'60"W PARALLEL WITH AND 40.00 FEET EAST OF THE WEST LINE OF SAID LOT 1, A DISTANCE OF 282.34 FEET; THENCE N89°48'58"W, A DISTANCE OF 40.00 FEET TO THE WEST LINE OF SAID LOT 1; THENCE N00°11'50"E ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 282.25 FEET TO THE POINT OF BEGINNING.  
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT CONTAINS 0.26 ACRES (11,292 SQUARE FEET)

PARCEL 2016-81  
AN IRREGULAR SHAPED PORTION OF LOT 1, TOWN & COUNTRY, AN OFFICIAL PLAT, POLK COUNTY, IOWA, AS RECORDED IN BOOK 9556 AT PAGE 412, IS DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE S00°12'55"W ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 283.19 FEET; THENCE N89°48'58"W, A DISTANCE OF 40.00 FEET; THENCE N00°12'55"E PARALLEL WITH AND 40.00 FEET WEST OF THE EAST LINE OF SAID LOT 1, A DISTANCE OF 283.10 FEET TO THE NORTH LINE OF SAID LOT 1; THENCE S89°58'35"E ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.  
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT CONTAINS 0.26 ACRES (11,326 SQUARE FEET)

**PREPARED FOR:**

MICHELLE ZELIADT  
1250 SE11TH ST. APT 9205  
GRIMES, IA 50111  
(515) 988-1284

**OWNER:**

PARCEL 2016-80  
CHRISTIAN W & DIANE L GRAY  
13396 NW 82ND AVE  
GRIMES, IOWA 50111

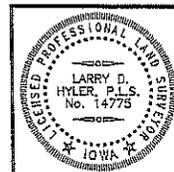
**OWNER:**

PARCEL 2016-81  
MICHELLE ZELIADT  
1250 SE11TH ST. APT 9205  
GRIMES, IA 50111

**NOTE:**

1. SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE OPINION. EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
2. BASIS OF BEARING: THE WEST LINE OF LOT 1 WAS PLATTED AS N00°11'50"E AND THAT LINE WAS HELD FOR THIS SURVEY.
3. THE REASON FOR THIS PLAT OF SURVEY IS SO THE TWO OWNERS OF LOT 1 CAN MOVE THE 40.00 FOOT WIDE ENTRANCE TO THE SOUTH PARCEL FROM THE EAST TO THE WEST SIDE.
4. THE SOUTH 1/2 OF LOT 1 CAN NOT BE BUILT UPON UNTIL IT IS ANNEXED INTO THE CITY OF GRIMES.
5. PARCEL 2016-81 MUST BE LOT TIED TO THE NORTH 1/2 OF LOT 1, BEING ADDRESSED AS 13396 NW 82ND AVENUE.
6. PARCEL 2016-80 MUST BE LOT TIED TO THE SOUTH 1/2 OF LOT 1.

FIELD WORK COMPLETED ON: 4-27-2016



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: Larry D. Hyler DATE: 6-2-2016  
LARRY D. HYLER, P.L.S. 14775

LICENSE RENEWAL DATE: DEC. 31, 2016  
PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 2 AND 2 OF 2

**Bishop Engineering**  
"Training Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515) 276-0467 Fax: (515) 276-0217  
Civil Engineering & Land Surveying  
Established 1959

**LOT 1 TOWN & COUNTRY  
GRIMES, IOWA  
PLAT OF SURVEY**

REFERENCE NUMBER:  
99-26p  
150450

DRAWN BY:  
LM

PROJECT NUMBER:  
160186

SHEET NUMBER:  
2 OF 2

**RESOLUTION 06-0216**

**WAIVING THE CITY OF GRIMES RIGHT TO REVIEW PLAT LOT 1 TOWN  
AND COUNTRY WITHIN THE TWO MILE UNINCORPORATED AREA OF  
POLK COUNTY.**

**WHEREAS**, Grimes Code of Ordinance 166.03 provides that the Planning and Zoning Commission and the Grimes City Council shall have right to waive their requirements to review plats within the two mile unincorporated area of Polk County; and,

**NOW THEREFORE**, Be it Resolved by the City Council of the City of Grimes, Iowa, that the Planning and Zoning Commission and the Grimes City Council shall waive the requirement to review the Lot.1 Town and Country, Polk County, Iowa

**Passed and approved this 14TH day of June 2016**

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

ATTEST:

\_\_\_\_\_  
Rochelle Williams, City Clerk

FINISH LINE BODY & PAINT  
1001 N. MAIN STREET  
GRIMES, IA 50111  
PHONE: 515-986-3174 FAX: 515-986-2031  
FEDERAL ID# 20-0532113

\*\*\* PRELIMINARY SUPPLEMENT 1 \*\*\*

*Final Bill*

S1

02/03/2016 09:38 AM  
05/05/2016 10:07 AM

**Owner**

Owner: CITY OF GRIMES

**Inspection**

Inspection Date: 02/03/2016 09:39 AM

Inspection Type:

Contact: MATT HIDLEBAUGH

Contact: MATT HIDLEBAUGH

**Repairer**

Repairer: FINISH LINE BODY AND PAINT  
Address: 1001 N.E. MAIN  
City State Zip: GRIMES, IA 50111  
Email: FLBODYANDPAINT@AOL.COM

Contact:  
Work/Day: (515)986-3174  
Work/Day: (515)986-2031

Target Complete Date/Time:

Days To Repair: 9

**Vehicle**

2004 Ford F-250 Super Duty XL 2 DR Standard Cab Long Bed  
10cyl Gasoline 6.8  
4 Speed Automatic

*001-210-6350 MW*

Lic Expire:  
Veh Insp# :  
Condition:  
Ext. Refinish: Two-Stage

VIN: 1FTNF21S94EC59983  
Mileage Type: Actual  
Code: P8175A  
Int. Refinish: Two-Stage

**Options**

4-Wheel Drive  
Camper/Towing Package  
Manual Locking Hubs  
Rear Step Bumper  
Vinyl Seats

AM/FM Stereo  
Dual Airbags  
Power Brakes  
Tachometer

Anti-Lock Brakes  
Intermittent Wipers  
Power Steering  
Tinted Glass

**Damages**

Line	Op	Guide	MC	Description	MFR.Part No.	Price	ADJ%	B%	Hours	R
------	----	-------	----	-------------	--------------	-------	------	----	-------	---

**Wheels**

Wheel,Spare      Replace Recycled      \$107.00\*      0.5\*      SM

ension

3 EC 857      Disc,Rear Brake LT      Replace Economy      \$95.57\*      1.5\*      ME  
3 EC 847      Bar,Rear Stabilizer      Replace Economy      \$83.67\*      0.7\*      ME

Bed

4 EC 427      Panel,Bedside LT      Replace Economy      \$712.00\*      15.2\*      SM  
5 L 427      # Panel,Bedside LT      Refinish      5.0\*      RF

3.6 Surface  
0.6 Two-stage setup  
0.8 Two-stage

# = 10, 13

6 E 272      01 Decal,Bedside Panel LT      2C3Z9925622BAA      \$43.05      0.2      SM  
7 EC 423      Panel,Bedside Inner LT      Replace Economy      \$90.00\*      3.5\*      SM

Manual Entries

8 SB      Alignment      Sublet Repair      2.0\*      ME\*  
9 EC      2 FIRESTONE TIRES      Replace Economy      \$320.08\*      S1      SM\*  
10 SB      MOUNT & BALANCE      Sublet Repair      \$32.00\*      S1      SM\*  
11 SB      2 TIRE DISPOSAL      Sublet Repair      \$8.00\*      S1      SM\*  
11 Items

MC      Message

01      CALL DEALER FOR EXACT PART # / PRICE  
10      INCLUDES AUDATEX TIME TO CLEAR ENTIRE PANEL  
13      INCLUDES 0.6 HOURS FIRST PANEL TWO-STAGE ALLOWANCE

Estimate Total & Entries

Gross Parts      \$43.05  
Other Parts      \$1,408.32  
Paint & Materials      5.0 Hours @ \$36.00      \$180.00  
Parts & Material Total      \$1,631.37  
Tax on Parts & Material      @ 6.000%      \$97.88

Labor	Rate	Replace Hrs	Repair Hrs	Total Hrs	
Sheet Metal (SM)	\$56.00	19.4		19.4	\$1,086.40
Mech/Elec (ME)	\$65.00	2.2	2.0	4.2	\$273.00
Frame (FR)	\$65.00				
Refinish (RF)	\$56.00	5.0		5.0	\$280.00

Labor Total      28.6 Hours      \$1,639.40  
Tax on Labor      @ 6.000%      \$98.36  
Sublet Repairs      \$40.00  
Tax on Sublet      @ 6.000%      \$2.40

Gross Total  
Net Total  
Actual Supplement Total      \$381.68  
Less: Previous Net Total  
Net Supplement Total

**\$3,509.41**  
**\$3,509.41**

Insurance paid (To City)      \$3,127.73  
Final Bill      \$381.68  
Paid. ck # 88647  
2 tires for the rear

MW 001-210-6350

Alternate Parts Y/00/00/00/00/00 CUM 00/00/00/00/00 Zip Code: 50111 Default

Insurance paid this

6/07/2016 10:58 AM  
OPERATOR: ALL  
TERMINAL: ALL  
SUMMARY CODE: ALL  
DEPARTMENT: ALL

CASH COLLECTION HISTORY REPORT  
DETAIL REPORT

PAGE: 1  
DAYS: 2/07/2016 THRU 6/07/2016  
RECEIPTS: 0 THRU 99999999  
TRAN: 0.0000 THRU 999.9999  
AMOUNT: 3,127.73 THRU 3,127.73

REG#	DATE	TIME OPER	BATCH	T#	TRAN	SYS	APPLIED	TENDERED	MT REF	VOID	NOTE	
00163777	2/08/2016	14:06	ODEY	3736	008	999.0000	GIB	3,127.73CR	3,127.73CR	CK	IMP GROUP	INS-PROPERTY DAMAGE

*Insurance payment for  
damage*



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- License
- Privileges
- Applicant
- Status Of Business
- Ownership
- Criminal History
- Premises
- General Premises
- Applicant Signature
- Bond Cert
- Local Endorse
- History

### Privileges LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
The navigation links on the top may also be used to move around the application.

Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

Next

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Iowa Alcoholic Beverages Division  
1918 SE Hulsizer Road, Ankeny, IA 50021  
Toll Free 866.IowaABD (866.469.2223)  
Local 515.281.7400

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- > Ownership
- > Criminal History
- > Premises
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- > Local Endorse
- > History

### Applicant LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen. The navigation links on the top may also be used to move around the application.

Corporation Name/Sole Proprietor Name/Partnership Name(s):  (Sole Proprietorship, Partnership, Corporation, etc.)

Name of Business (D/B/A):

Address of Premise:

Address Line 2:

City:

County:

Zip:

Business Phone:  Cell / Home Phone:

Same Address

Mailing Address:

Mailing Address Line 2:

City:  State:

Zip:

Contact Name:

Phone:  Email Address:

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- Ownership
- Criminal History
- Premises
- General Premises
- Applicant Signature
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- History

## Ownership **LE0001646, Walmart Supercenter #5748, Grimes**

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
 The navigation links on the top may also be used to move around the application.

Corporate applicant's, list all shareholders having 10% or more interest in the corporation and all officers and directors of the corporation regardless of ownership interest. Sole Proprietors shall also include their spouse even if the spouse owns 0% interest. Non-profit corporations or associations need to list officers. Partnerships and Committees not registered with the Secretary of State office will need a trade name filing from their county recorder's office.

If you want to change ownership information at renewal time please finish the renewal with the current ownership listed. When you are finished please go to the Action List and submit an Ownership Update Application along with the license renewal.

**Owners:**

Name	Address	Percentage	
William Simon	702 SW 8th Street, Bentonville, AR, 72716	1.00 %	View
Phyllis Harris	7 Oxford Drive, Rogers, AR, 72758	0.00 %	View
Jeff Davis	84 Champions Blvd., Rogers, AR, 72758	0.00 %	View
Andrea Marie Lazenby	808 Irelan Street, Lowell, AR, 72745	0.00 %	View

1

First Name:  Last Name:

Address:

Address Line 2:

City:  State:

Zip:

Position:  SS#:  U.S. Citizen:

Date of Birth:  % of Ownership:

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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- Refund Application
- Applicant Signature
- Local Endorse

### Refund Application LC0042002, Burger Daddy , Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
The navigation links on the top may also be used to move around the application.

Last Day of Business:

This request is for:

(Refunds are made for full unused quarters only)

Owner:

Refund Address:

Refund Address Line 2:

Refund City:

State:

Refund Zip:

Federal Employer ID#:

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- Refund Application
- Applicant Signature
- Local Endorse

## Applicant Signature LC0042002, Burger Daddy , Grimes

Complete the information below and click Finish to complete the application. Note that the license fees will only be withdrawn from accounts after the ABD approves the license.

This application must be completed by a person listed in the Ownership Section.

I hereby declare that all information contained in the Application is true and correct. I understand that misrepresentation of material facts in the Application is a crime and grounds for denial of the license or permit under Iowa law. I further understand that, as a condition of receiving a license, the licensed premises is subject to inspection during business hours by appropriate local, state and federal officials.

NOTE: The Applicant's Name must match one of the owner's names from the Ownership screen.

Applicant's Name:

Date:  MM/DD/YYYY

License effective date:  MM/DD/YYYY

From the Alcoholic Beverage Division: \$ 432.25  
From your Local Authority: \$ 308.75

Please print a copy of this page for your records before clicking the "FINISH" button.

**Finish**

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CUSTOMER #: 481F

148139

STIVERS FORD LINCOLN

CITY OF GRIMES  
101 NE HARVEY ST  
GRIMES, IA 50111-2051

WORKORDER

WAUKEE

PAGE 1

1460 E. HICKMAN ROAD · WAUKEE, IOWA 50263

www.stiversfordia.com

HOME: 515-986-3036 CONT: 515-986-3036

BUS: 515-986-3036 CELL: 729-2333

SERVICE ADVISOR: 8861 HAWKBY, SHAWN

COLOUR	YEAR	MAKE/MODEL	VIN	LICENSE	MILEAGE IN/OUT	TAG
RED	06	FORD F250	1FTSF21P86ED96527		74366/	T2239

DEL DATE	PROD DATE	WARR EXP	PROMISED	PO NO	RATE	PAYMENT	INV DATE
30MAY06 IS							
30MAY06 DD	07MAY06		18:00 07JUN16		0.00	CASH	

B.O. OPENED: 07JUN2016 10:34  
 READY: [ ]  
 OPTIONS: ENG: 6.0 LITER EFI

LINE OP CODE TECH... TYPE DESCRIPTIONS/INSTRUCTIONS  
 # A 09 OFF CUST STATES BLOWING WHITE SMOKE FROM EXHAUST *Rate 3*

[REPEATED NOISE/ARTIFACTS]

TERMS: STRICTLY CASH UNLESS ARRANGEMENTS MADE

I hereby authorize the repair work herein set forth to be done along with the necessary material and agree that you are not responsible for loss or damage to vehicle or articles left in vehicle in case of fire, theft or any other cause beyond your control or for any delays caused by unavailability of parts or delays in parts shipments by the supplier or transporter. I hereby grant you and/or your employees permission to operate the vehicle herein described on streets, highways or elsewhere for the purpose of testing and/or inspection. An express mechanic's lien is hereby acknowledged on above vehicle to secure the amount of repairs thereto.

DISCLAIMER OF WARRANTIES

Any warranties on the product sold hereby are those made by the manufacturer. The seller hereby expressly disclaims all warranties, either express or implied, including any implied warranty of merchantability or fitness for a particular purpose, and the seller neither assumes nor authorizes any other person to assume for it any liability in connection with the sale of said products. Any limitation contained herein does not apply where prohibited by law.

\*Shop Supplies...We have found it is not practical to itemize the many miscellaneous supplies and materials used on each repair job. To do so would considerably add to our costs and labor charges. A standard charge for supplies and materials is made on each repair order. The amount of this charge will be 12% of the parts and labor charge, up to a maximum of \$25.00. This will be shown on a separate line of the repair order invoice. Experience has shown that our average charge covers the barest minimum of these items resulting in savings to our customers.

PRELIMINARY ESTIMATE \$ \_\_\_\_\_

AUTHORIZED BY X

REVISED ESTIMATE (1)	DATE	TIME	BY
REVISED ESTIMATE (2)			
REVISED ESTIMATE (3)			

You have the right to a written or oral estimate if the expected cost of repairs or service will be more than fifty dollars. Your bill will not be higher than the estimate by more than ten percent unless you approve a higher amount before repairs are finished:

X \_\_\_\_\_ CUSTOMER SIGNATURE

*Stet*

PARTS USED ARE GENUINE NEW PARTS

TECHNICIAN COPY

Diag 1.0

Cause - Oil cooler \$  
Blown - EGR cooler \$  
Stroke - Turbo \$  
Intake gaskets \$  
Flush { VC 9 x 2 \$  
          VC 7 x 6 \$  
          Wet x 6 \$  
          LOF \$

~~\$2200~~

\$2200 + 12.0

Parts 2200.<sup>00</sup>  
Labor 1105.<sup>00</sup>  
Misc 100.<sup>00</sup>

\$ 3400.<sup>00</sup>

P.O. No. \_\_\_\_\_

cc agenda 6/14/16

17943

### CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

#### PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Stivers Ford

Name

1450 E Hickman Rd Waukegan IA 50263

Address

Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Parts - oil cooler, egr cooler, turbo gas kets			2200 <sup>00</sup>
Labor			1105 <sup>00</sup>
			<u>100<sup>00</sup></u>

Ⓞ \$ 5405<sup>00</sup>

PURCHASE JUSTIFICATION:

Repairs for flat head truck

DEPARTMENT:

Equipment repairs

LINE ITEM:

BEGINNING BUDGET BALANCE:

ENDING BUDGET BALANCE:

PURCHASE REQUESTED BY:

Did Sigler

DATE:

6-8-16

PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown City Administrator/Clerk

Date

Council Approval date: (if over \$2500)

Purchaser's Copy

Vendor's Copy

File Copy

RECEIVED MAY 23



MidAmerican Energy Company  
4299 NW Urbandale Drive  
P.O. Box 657  
Des Moines, IA 50306

City of Grimes  
101 NE Harvey Street  
Grimes, IA 50111

May 19, 2016

To Whom It May Concern:

Enclosed please find two copies of a MidAmerican Energy Company underground electric easement located in your property at SW Brookside Drive in Grimes, Iowa.

Your timely action is needed in order to expedite the process of providing service to your property. Therefore, please have these easements signed and notarized and return one original to our office for recording. If there is a question about where to get the easement notarized, contact your bank as they should provide notary services. You may keep the copy stamped "Customer Copy" for your records.

If you have any questions concerning this matter, please feel free to contact me at 515-252-6747.

Sincerely yours,

A handwritten signature in cursive script that reads "Bill Miller".

Bill Miller  
Right-of-Way Services  
MidAmerican Energy Company

Enclosures



Prepared by and return to: Jay Peterson 515-281-2713  
MIDAMERICAN ENERGY ATTN: RIGHT-OF-WAY SERVICES PO BOX 657 DES MOINES, IA 50306-0657

**MIDAMERICAN ENERGY COMPANY  
UNDERGROUND ELECTRIC EASEMENT**

Folder No.	<u>110-16</u>	State of	<u>Iowa</u>
Work Req. No.	<u>DR2536814</u>	County of	<u>Polk</u>
Project No.	<u>11145</u>	Section	<u>29</u>
		Township	<u>80</u> North
		Range	<u>25</u> West of the 5 <sup>th</sup> P.M.

1. For and in consideration of the sum of One and no/100--Dollar (\$1.00), and other valuable consideration, in hand paid by MIDAMERICAN ENERGY COMPANY, an Iowa corporation, receipt of which is hereby acknowledged, the undersigned owner(s) City of Grimes, Iowa, its successors and assigns ("Grantor"), does hereby grant to MIDAMERICAN ENERGY COMPANY, its successors and assigns ("Grantee"), a perpetual, non-exclusive easement to construct, reconstruct, operate, maintain, replace or remove underground conduits, wires and cables for the transmission and distribution of electric energy and for communication and electrical controls, including other reasonably necessary equipment incident thereto (collectively "Facilities") under and on the surface of the ground, through and across certain property described below, together with the right of ingress and egress to and from the same, and all the rights and privileges incident and necessary to the enjoyment of this easement ("Easement Area").

**DESCRIPTION OF PROPERTY CONTAINING EASEMENT AREA:**

A tract of land located in the Southwest Quarter of Section 29, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa, more specifically described in Book 4357, Pages 629 and 630 of the records of the Polk County, Iowa Recorder's Office.

**EASEMENT AREA:**

A 10 foot wide by 90 foot long underground easement area, with a centerline beginning at a point 630 East, more or less, of the Southwest Corner of said Section 29, thence running North for a distance of 90 feet and terminating at a pad mounted transformer as generally depicted on Exhibit "A", attached hereto and made a part hereof.

2. Additionally, Grantee shall have the right to remove from the Easement Area described above, any obstructions, including but not limited to, trees, plants, undergrowth, buildings, fences and structures that interfere with the proper operation and maintenance of said Facilities and equipment.

3. Grantor agrees that it will not construct or place any permanent or temporary buildings, structures, fences, trees, plants or other objects on the Easement Area described above or make any changes in ground elevation without written permission from Grantee indicating that said construction or ground elevation changes will not result in inadequate or excessive ground cover, or otherwise interfere with the Grantee's rights to operate and maintain its Facilities. Pavement improvements are not prohibited in the Easement Area.

4. In consideration of such grant, Grantee agrees that it will repair or pay for any damage which may be caused to crops, fences, or other property, real or personal of the Grantor by the construction, reconstruction, maintenance, operation, replacement or removal of the Facilities (except for damage to property placed subsequent to the granting of this easement) that Grantee determines interferes with the operation and maintenance of the Facilities and associated equipment. The cutting, recutting, trimming and removal of trees, branches, saplings, brush or other vegetation on or adjacent to the Easement Area is expected and not considered damage to the Grantor.

5. Additionally, when Grantor provides or installs duct/conduit for said Facilities, this grant shall cover and include all Facilities installed as a part of the Easement Area.

6. Grantor and Grantee each certify that they are not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by any Executive Order or the United States Treasury Department as a terrorist, "Specially Designated National and Blocked Person" or any other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control; and are not engaged in this transaction, directly or indirectly, on behalf of, any such person, group, entity or nation. Each party hereby agrees to defend, indemnify and hold harmless the other party from and against any and all claims, damages, losses, risks, liabilities and expenses (including attorney's fees and costs) arising from or related to any breach of the foregoing certification.

7. Each of the provisions of this easement shall be enforceable independently of any other provision of this easement and independent of any other claim or cause of action. In the event of any dispute arising under this easement, it is agreed between the parties that the law of the State of Iowa will govern the interpretation, validity and effect of this easement without regard to the place of execution or place of performance thereof. To the fullest extent permitted by law, Grantor and Grantee each hereto waive any right it may have to a trial by jury in respect of litigation directly or indirectly arising out of, under or in connection with this easement. Grantor and Grantee each further waive any right to consolidate any action in which a jury trial has been waived with any other action in which a jury trial cannot be or has not been waived.

8. Grantor hereby relinquishes all rights of dower, homestead and distributive share in and to the property and waives all rights of exemption as to any of the property. Grantor understands that homestead property is in many cases protected from the claims of creditors and exempt from judicial sale; and that by signing this easement, voluntarily gives up any right to this protection for this property with respect to claims based upon this easement.

9. Grantor warrants to Grantee that Grantor holds title to the Easement Area in fee simple and Grantor has good and lawful authority to grant the rights provided in this easement.

(Acknowledgments on following page)



## Rochelle Williams

---

**From:** Steve Troyer <stroyer@foxeng.com>  
**Sent:** Thursday, June 09, 2016 11:39 AM  
**To:** Kelley Brown; Rochelle Williams  
**Cc:** John Gade; Jean Sheets  
**Subject:** Task Order for RO Project  
**Attachments:** TO 3364-16A RO Project.pdf

Kelley and Rochelle,

Please find attached a Task Order for the RO project. It includes engineering services for both Phase 1 (the emergency RO project which is essentially complete) and Phase 2 (expansion of the RO system including another skid, cleaning system, and other components).

Please review and let me know if you have any questions. If not, please put this on the next council meeting agenda for approval (if it doesn't make this next meeting's agenda, that's fine; we will proceed with the Phase 2 design work to keep this on schedule).

I'm also working on another Task Order for the water system facility plan update, that I expect to send to you this afternoon (this one can also wait until the 2nd meeting in June for council approval).

Thanks!

**Steve Troyer, P.E.**

**FOX Engineering Associates, Inc.**

414 South 17th Street | Suite 107 | Ames, IA 50010

Office | 515.233.0000 | Cell | 515.290.3847

[www.foxeng.com](http://www.foxeng.com)

**This is Task Order No. 3364-16A,  
consisting of three (3) pages.**

## Task Order

In accordance with paragraph 1.01 of the Master Agreement between Owner and Engineer for Professional Services dated December 15, 2003 ("Agreement"), Owner and Engineer agree as follows:

### Specific Project Data

**A. Title:** Grimes Phase 1 and Phase 2 Reverse Osmosis Project

**B. Description:** This Task Order includes Design, Bidding and Construction services for the following improvements in Grimes, Iowa:

- 1) Phase 1 – one new reverse osmosis unit and one new aerator, to be installed in the existing maintenance building north of the water plant. (Note – Phase 1 services have already been completed.)
- 2) Phase 2 – one additional reverse osmosis unit, chemical cleaning system, raw water booster pumps, and new electrical service, installed in the existing maintenance building north of the water plant.

1. **Services of Engineer** - Basic Services of Engineer shall be as per Exhibit A except as modified below:

a. **A1.01 (Study and Report Phase)** - Completed separately – Water System Facility Plan Amendment No. 4, February 2016.

b. **A1.02 (Preliminary Design Phase)** - As per Exhibit A, but with the following additions and revisions:

- (1) A topographic survey, boundary survey and property information are not included in the scope for this project. Elevations will be based on available LIDAR information.

c. **A1.03 (Final Design Phase)** - As per Exhibit A, but with the following additions and revisions:

- (1) The Engineer shall prepare the IDNR Construction Permit Application to be executed and submitted by the Owner.
- (2) This Task Order has been prepared based upon one (1) prime construction contract.

d. **A1.04 (Bidding Phase)** - As per exhibit A, but with the following additions:

- (1) The Engineer shall provide the following additional Bidding or Negotiating Phase tasks or deliverables:
  - i. Prepare Notice of Public Hearing and Invitation to Bid for publication by the Owner.
  - ii. Review supplier submittals for pre-approval of base bid equipment.
  - iii. Prepare and distribute signatory copies of the Notice of Award and Contract Documents.
  - iv. Prepare and distribute signatory copies of the Notice to Proceed.
- (2) A Pre-Bid Conference will not be required for this project.
- (3) Bidding Documents - The Engineer shall prepare and distribute a sufficient number of paper copies of project documents (including drawings, plans, specifications and addenda) to prospective bidders, subcontractor bidders, suppliers and contractor plan room services.
- (4) Engineer shall pay for the application fees with the IDNR Construction Permit. Owner shall directly reimburse Engineer for the cost of these application fees.

e. **A1.05 (Construction Phase)** - As per exhibit A, but with the following additions:

- (1) RPR Services shall be part time observation.
- (2) Construction staking services will not be required for this project.
- (3) The Contractor shall furnish record drawings to the Engineer. The Engineer will add the record information to the plans and submit three (3) paper copies and a digital pdf of the Record Drawings to the City. The record drawings will be prepared as part of the Construction Phase Services.

f. **A1.06 (Post-Construction Phase)** - As per exhibit A, but with the following additions:

- (1) Project commissioning services will be provided as part of this phase.

g. **Part 2 (Additional Services)** - As per exhibit A except for services specifically identified in this document as part of other phases of work.

2. **Owner's Responsibilities** - As per Exhibit B, but with the following additional responsibilities:

1) The Owner shall reimburse the Engineer for all permit fees paid by the Engineer that are associated with the project. Owner shall pay for all other fees directly.

3. **Times for Rendering Services** - Phases of work shall be provided as follows:

<u>Phase</u>	<u>Schedule</u>
Design Phase	Four (4) months from date agreement is executed.
Bidding Phase	Two (2) months after completion of design.
Construction Phase	Estimated eight (8) months.

4. **Payments to Engineer** - As per Exhibit C and as follows:

1) The following Method C is added to the list of available methods of payment listed in Exhibit C:

Method C: Per Bidding Document Rate - Prior to advertising for bids, the Engineer will determine and set an average unit price fee associated with the cost of preparation and distribution of paper copies of project documents (including drawings, plans, specifications and addenda) to prospective bidders, subcontractor bidders, suppliers and contractor plan room services. This unit price shall include all costs associated with preparation and distribution, including but not limited to printing, assembling, packaging and shipment costs. The Owner shall pay the Engineer an amount equal to this unit price multiplied by the number of documents produced and distributed in accordance with Iowa law.

2) Amounts listed in this Task Order under Method B - Standard Hourly Rates and Method C - Per Bidding Document Rate totals are estimates only. These amounts are not maximum values.

3) Owner shall pay Engineer for services within each phase as follows:

<u>Phase</u>	<u>Method of Payment</u>	<u>Amount</u>
Design Phase	Lump Sum	\$153,580
IDNR Permit Fee Reimbursement	Direct Reimbursement	\$5,000 (estimated)
Bidding Phase	Lump Sum	\$17,210
Bidding Documents	Per Bidding Document Rate	40 @ \$50 = \$2,000 (estimated)
Construction Phase	Lump Sum	\$94,380
RPR Services	Standard Hourly Rates	\$24,100 (estimated)
Post Construction/Commissioning	Standard Hourly Rates	\$10,000 (estimated)

The total of the lump sum, reimbursible and estimated hourly fees is \$306,270.00.

5. **Engineer's Consultants:**

- 1) Electrical/Mechanical – KCL Engineering
- 2) Structural – Rietz Consultants

6. **Engineer's Liability:**

- 1) *Engineer's Liability Limited to Amount of Engineer's Compensation.* To the fullest extent permitted by law, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Engineer and Engineer's officers, directors, partners, employees, agents, and Engineer's Consultants, and any of them, to Owner and anyone claiming by, through, or under Owner for any and all claims, losses, costs, or damages whatsoever arising out of, resulting from or in any way related to a Specific Project from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability or breach of contract, or warranty express or implied of Engineer or Engineer's officers, directors, partners, employees, agents, or Engineer's Consultants, or any of them, shall not exceed the total compensation received by Engineer for this Task Order.
- 2) *Exclusion of Special, Incidental, Indirect and Consequential Damages.* To the fullest extent permitted by law, and notwithstanding any other provision in the Agreement, Engineer and Engineer's officers, directors, partners, employees, agents, and Engineer's Consultants shall not be liable to Owner or anyone claiming by, through, or under Owner for any special, incidental, indirect, or consequential damages whatsoever arising out of, resulting from, or in any way related to a Specific Project or the Agreement from any cause or causes, including but not limited to any such damages caused by the negligence, professional errors

or omissions, strict liability or breach of contract, or warranty express or implied of Engineer or Engineer's officers, directors, partners, employees, agents, or Engineer's Consultants, or any of them.

- 3) *Extension of Protection.* The Owner agrees to extend any and all liability limitations and indemnifications provided by the Owner to the Engineer to those individuals and entities the Engineer retains for performance of the service under this agreement, including but not limited to the Engineer's officers and employees and their heirs and assigns, as well as the Engineer's sub-consultants and their officers, employees, heirs and assigns.

7. **Other Modifications to Master Agreement** - Not applicable

8. **Attachments** - None

9. **Documents Incorporated By Reference** - None

Approval & Acceptance: Approval & Acceptance of this Task Order, including the attachments listed above, shall incorporate this document as part of the Agreement. Engineer is authorized to begin work upon its receipt of a copy of this Task Order signed by Owner.

The Effective Date of this Task Order is \_\_\_\_\_, 2016.

Engineer

Signature

Date

Steve Troyer, P.E.

Name

Principal

Title

Designated Representative for Task Order:

Steve Troyer, P.E.

Name

Principal

Title

414 South 17<sup>th</sup> St, Suite 107, Ames, IA 50010

Address

stroyer@foxeng.com

E-Mail Address

515-233-0000

Phone

515-233-0103

Fax

Owner

Signature

Date

Kelley Brown

Name

City Administrator

Title

Designated Representative for Task Order:

Kelley Brown

Name

City Administrator

Title

101 NE Harvey Street, Grimes, IA 50111

Address

kelbrown@ci.grimes.ia.us

E-Mail Address

515-986-3036

Phone

515-986-3846

Fax

**This is Task Order No. 3364-16B,  
consisting of three (3) pages.**

**Task Order**

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In accordance with paragraph 1.01 of the Master Agreement between Owner and Engineer for Professional Services dated December 15, 2003 ("Agreement"), Owner and Engineer agree as follows:

**Specific Project Data**

- A. Title: Water System Facility Plan Update
- B. Description: A Water System Facility Plan was prepared in 2011, which evaluated the Grimes water system and alternatives for expansion as the community grows. With significant changes over the last five years, the facility plan needs to be updated. The updated facility plan will address the long term (20 years) needs of the water supply, treatment, storage, and distribution system. This will include: determine existing water demands and project future water demands; evaluate the existing facilities; develop and evaluate alternatives for expanding the plant; develop and evaluate alternatives for expanding the existing water supply; and evaluate the water distribution system and storage.
1. **Services of Engineer** – Basic Services of Engineer shall be as per Exhibit A of the Master Agreement except as modified below:
- 1) **A1.01 - Study and Report Phase**
- A. **Existing and Projected Water Demands**
1. Collect and evaluate up to 10 years of data to determine current water demands and water use trends. Data to be provided by the Owner.
  2. Determine the water use per capita. Population data to be provided by Owner.
  3. Develop water demand projections for up to 20 years based on population projections provided by the Owner.
  4. Determine the appropriate timing of capital improvements projects to increase water supply, treatment, and storage capacity to meet projected demands.
- B. **Evaluate Existing Treatment Facilities**
1. Evaluate the treatment and hydraulic capacity of the existing treatment facilities, including each of the individual treatment processes, chemical feed systems, and pumping systems.
  2. Make recommendations for required improvements to meet projected needs.
- C. **Develop and Evaluate Alternatives for Expanding Treatment Capacity**
1. Develop and evaluate two main alternatives for expanding treatment capacity to meet the projected 20 year water demands.
  2. The 2011 facility plan evaluated expanding with lime softening. This facility plan update will re-evaluate lime softening and compare it to reverse osmosis.
- D. **Water Supply**
1. Leggette Brashears and Graham (LBG) has been retained by the city to evaluate the existing north well field and potential for additional shallow wells in the Beaver Channel north of Grimes.
  2. Iowa Geological Survey – IIHR Hydrosience and Engineering – University of Iowa was retained by the city to evaluate the potential for additional Cambrian-Ordovician (Jordan) aquifer supply wells to meet additional water supply needs for the city.
  3. Based on the results of these studies, this facility plan update will evaluate and recommend the most cost effective and beneficial option(s) for additional water supply for the city.
  4. Make recommendations for additional investigation (e.g. test borings and test wells) as may be required to fully evaluate a potential site.
- E. **Water Distribution & Storage**
1. Update the water distribution system model to reflect current conditions. Recalculate and redistribute water demand conditions based on current demands.

2. The 2011 facility plan developed a master plan for the water distribution system based on the areas that can be served, estimated potential water demands in undeveloped areas, and recommended watermain loop sizes and locations. This facility plan update will review and revise or re-affirm the water distribution system master plan as appropriate.
3. The 2011 facility plan developed a plan to add two new water towers to increase the storage and to provide better fire protection throughout the city. This facility plan update will review and revise or re-affirm the water storage needs as appropriate.

**F. Workshop, Meetings, SRF Planning & Design Loan Application**

1. Prepare and conduct a workshop with City officials and USW Utility Group staff to discuss operations and needs of the water system.
2. Attend additional meetings with City staff as appropriate.
3. Present the report and findings to City Council.
4. Assist the Owner in preparation of the application for a State Revolving Fund Planning & Design Loan.

**G. Impact on Water Rates**

1. Work with the city's financial advisor to help determine the impact of the proposed improvements on water rates.
2. Engineer will provide capital cost opinions and timing of capital projects to the financial advisor for their use in determining required water revenues and rates.
3. Include a summary of the water rate review, provided by the financial advisor, in the report in item H.

**H. Report Preparation**

1. Prepare a report per A1.01 summarizing the work completed in items A-G.
  2. The report will include, as appropriate, schematic layouts, sketches, and conceptual design criteria.
  3. The report will also include Engineer's opinion of cost for each of the alternatives identified.
  4. The report will include a timeline for implementation of any recommended improvements over the next 20 years.
  5. Up to fifteen (15) paper copies and one (1) electronic copy of the draft report will be submitted to the Owner for review and comment.
  6. After Owner's comments are received, the report will be revised and up to fifteen (15) final paper copies and one (1) electronic copy will be submitted to the Owner.
- 2) **A1.02, A1.03, A1.04, A1.05, A1.06 – Preliminary & Final Design, Bidding, Construction, & Post-Construction Phases – Not Included**
- 3) **Part 2 – Additional Services** – As per exhibit A except for services specifically identified in this document as part of other phases of work.

2. **Owner's Responsibilities** – Owner's responsibilities shall be as per Exhibit B in the Master Agreement.

3. **Times for Rendering Services**

- 1) **Study and Report Phase Services:** The required number of copies of the Draft Report will be submitted to the Owner within 150 days of authorization to proceed. Upon receipt of Owner's comments, Engineer will revise the report and submit the Final Report to the Owner within 30 days.

4. **Payments to Engineer**

- 1) Owner agrees to pay Engineer for services in accordance with Exhibit C 4.01 A. as follows:

<u>Phase</u>	<u>Method of Payment</u>	<u>Amount</u>
Study & Report Phase - Water Facility Plan Update	Lump Sum	\$42,170

5. **Engineer's Consultants:** None

6. **Engineer's Liability:**

- 1) *Engineer's Liability Limited to Amount of Engineer's Compensation.* To the fullest extent permitted by law, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Engineer and Engineer's officers, directors, partners, employees, agents, and Engineer's Consultants, and any of them, to Owner and anyone claiming by, through, or under Owner for any and all claims, losses, costs, or damages whatsoever arising out of, resulting from or in

any way related to a Specific Project from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability or breach of contract, or warranty express or implied of Engineer or Engineer's officers, directors, partners, employees, agents, or Engineer's Consultants, or any of them, shall not exceed the total compensation received by Engineer for this Task Order.

- 2) *Exclusion of Special, Incidental, Indirect and Consequential Damages.* To the fullest extent permitted by law, and not withstanding any other provision in the Agreement, Engineer and Engineer's officers, directors, partners, employees, agents, and Engineer's Consultants shall not be liable to Owner or anyone claiming by, through, or under Owner for any special, incidental, indirect, or consequential damages whatsoever arising out of, resulting from, or in any way related to a Specific Project or the Agreement from any cause or causes, including but not limited to any such damages caused by the negligence, professional errors or omissions, strict liability or breach of contract, or warranty express or implied of Engineer or Engineer's officers, directors, partners, employees, agents, or Engineer's Consultants, or any of them.
- 3) *Extension of Protection.* The Owner agrees to extend any and all liability limitations and indemnifications provided by the Owner to the Engineer to those individuals and entities the Engineer retains for performance of the service under this agreement, including but not limited to the Engineer's officers and employees and their heirs and assigns, as well as the Engineer's sub-consultants and their officers, employees, heirs and assigns.

7. **Other Modifications to Master Agreement:** Not applicable

8. **Attachments:** None

9. **Documents Incorporated By Reference:** None

Approval & Acceptance: Approval & Acceptance of this Task Order, including the attachments listed above, shall incorporate this document as part of the Agreement. Engineer is authorized to begin work upon its receipt of a copy of this Task Order signed by Owner.

The Effective Date of this Task Order is \_\_\_\_\_, 2016.

Engineer

Signature

Date

Steven J. Troyer, P.E.

Name

Principal / Project Manager

Title

Designated Representative for Task Order:

Steven J. Troyer, P.E.

Name

Principal / Project Manager

Title

414 South 17<sup>th</sup> St., Suite 107, Ames, IA 50010

Address

stroyer@foxeng.com

E-Mail Address

515-233-0000

Phone

515-233-0103

Fax

Owner

Signature

Date

Kelley Brown

Name

City Administrator

Title

Designated Representative for Task Order:

Name

City Administrator

Title

101 NE Harvey Street, Grimes, IA 50111

Address

kelbrown@ci.grimes.ia.us

E-Mail Address

515-986-3036

Phone

515-986-3846

Fax

# Grimes Chamber & Economic Development

404 SE 2nd Street  
Suite 200  
Grimes, IA 50111

# Invoice

Date	Invoice #
6/7/2016	737

Bill To
City of Grimes 101 NE Harvey Street Grimes, IA 50111



Item	Description	Amount
Economic Development (...)	Economic Development Contribution (April, May, June)	16,596.00
<b>Total</b>		<b>\$16,596.00</b>
<b>Balance Due</b>		<b>\$16,596.00</b>

(515) 986-5770	<a href="http://www.grimesiowa.com">www.grimesiowa.com</a>
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**Contractor's Application for Payment No. 16**

Application Period: 12/14/15 - 3/14/16		Application Date: 3/14/2016	
To (Owner): City of Grimes	From (Contractor): C.L. Carroll Co. Inc.	Via (Engineer): Fox Engineering, Inc.	
Project: ASR Well #1 Well Pump & Control Building Imp. Grimes, IA	Contract:		
Owner's Contract No.:	Contractor's Project No.:	Engineer's Project No.: 3364-13A	

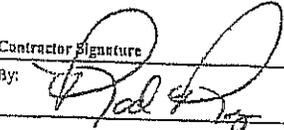
Application For Payment  
Change Order Summary

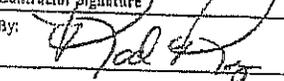
Approved Change Orders		
Number	Additions	Deductions
1		-\$7,825.83
2	\$11,890.76	
3	\$38,648.00	
4	\$4,867.58	
5	\$9,486.35	
6	\$5,525.00	
7	\$18,724.61	
8	\$4,205.75	
9	\$6,491.60	
10	\$19,658.55	
<b>TOTALS</b>	<b>\$119,498.70</b>	<b>-\$7,825.83</b>
<b>NET CHANGE BY CHANGE ORDERS</b>	<b>\$111,672.87</b>	

1. ORIGINAL CONTRACT PRICE.....	\$	\$1,585,000.00
2. Net change by Change Orders.....	\$	\$111,672.87
3. Current Contract Price (Line 1 + 2).....	\$	\$1,697,672.87
4. TOTAL COMPLETED AND STORED TO DATE (Column F total on Progress Estimates).....	\$	\$1,697,672.87
5. RETAINAGE:		
a. 5% X \$0.00 Work Completed.....	\$	\$5,000.00
b. 5% X \$0.00 Stored Material.....	\$	\$0.00
c. Total Retainage (Line 5.a + Line 5.b).....	\$	\$5,000.00
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c).....	\$	\$1,692,672.87
7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application).....	\$	\$1,692,672.87
8. AMOUNT DUE THIS APPLICATION.....	\$	\$5,000.00
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G total on Progress Estimates + Line 5.c above).....	\$	\$0.00

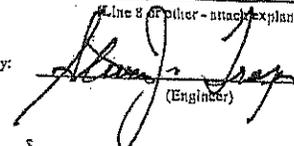
**Contractor's Certification**

The undersigned Contractor certifies, to the best of its knowledge, the following:  
 (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;  
 (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interests, or encumbrances); and  
 (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature: 

By:  Date: 3/14/16

Payment of: \$ 5,000.00  
(Line 8 or other - attach explanation of the other amount)

is recommended by:  6-6-16  
(Engineer) (Date)

Payment of: \$ \_\_\_\_\_  
(Line 8 or other - attach explanation of the other amount)

is approved by: \_\_\_\_\_  
(Owner) (Date)

Approved by: \_\_\_\_\_  
Funding or Financing Entity (if applicable) (Date)

Progress Estimate - Lump Sum Work

Contractor's Application

For (Contract):		Application Number:						
0		16						
Application Period:		Application Date:						
12/14/15 - 3/14/16		03/14/16						
Specification Section No.	A Description	B Scheduled Value (\$)	Work Completed		E Materials Presently Stored (not in C or D)	F		G Balance to Finish (B - F)
			C From Previous Application (C+D)	D This Period		Total Completed and Stored to Date (C + D + E)	% (F / B)	
C-700	Move In							
2220	Demo	\$16,000.00	\$16,000.00	\$0.00		\$16,000.00	100.0%	\$0.00
15100/15200	Int Pipe	\$82,500.00	\$82,500.00	\$0.00		\$82,500.00	100.0%	\$0.00
Div 4	Masonry	\$47,500.00	\$47,500.00	\$0.00	\$0.00	\$47,500.00	100.0%	\$0.00
Div 9	Paint	\$45,000.00	\$45,000.00	\$0.00		\$45,000.00	100.0%	\$0.00
Div 6	Carpentry	\$42,000.00	\$42,000.00	\$0.00		\$42,000.00	100.0%	\$0.00
7531	Roof	\$30,500.00	\$30,500.00	\$0.00		\$30,500.00	100.0%	\$0.00
Div 8	Doors	\$17,000.00	\$17,000.00	\$0.00		\$17,000.00	100.0%	\$0.00
3300/Div 5	Misc. Conc/Int Work	\$25,000.00	\$25,000.00	\$0.00		\$25,000.00	100.0%	\$0.00
11760	Chemical	\$45,000.00	\$45,000.00	\$0.00	\$0.00	\$45,000.00	100.0%	\$0.00
11155/16425	Well/GE	\$98,000.00	\$98,000.00	\$0.00	\$0.00	\$98,000.00	100.0%	\$0.00
Div 15	Plumb/HVAC	\$530,000.00	\$530,000.00	\$0.00	\$0.00	\$530,000.00	100.0%	\$0.00
Div 16	Elect/Cont/Gen	\$170,000.00	\$170,000.00	\$0.00	\$0.00	\$170,000.00	100.0%	\$0.00
Div 2	Sitework	\$430,000.00	\$430,000.00	\$0.00	\$0.00	\$430,000.00	100.0%	\$0.00
Div 16	CPR 01/Door & Valve Additional Electric Work (CO1)	\$754.69	\$754.69	\$0.00		\$754.69	100.0%	\$0.00
15100/15200	CPR 02/Air Valve size change (CO1)	\$486.48	\$486.48	\$0.00		\$486.48	100.0%	\$0.00
11155/16425	Remove duplicate pump cable/Junction Box (CO1)	(\$9,067.00)	(\$9,067.00)	\$0.00		(\$9,067.00)	100.0%	\$0.00
Div 16	CPR 04 Fire Alarm/Detection System Changes (CO2)	\$66.41	\$66.41	\$0.00		\$66.41	100.0%	\$0.00
Div 16	CPR 05 Omit Transformer heater wiring (CO2)	(\$665.00)	(\$665.00)	\$0.00		(\$665.00)	100.0%	\$0.00
Div 16	Eliminate Space Heaters from GE Scope (CO2)	\$1,000.00	\$1,000.00	\$0.00		\$1,000.00	100.0%	\$0.00
Div 9	CPR 06 Paint building exterior (CO2)	\$13,489.35	\$13,489.35	\$0.00		\$13,489.35	100.0%	\$0.00
11155/16425	Acidize Well (CO3)	\$33,075.00	\$33,075.00	\$0.00		\$33,075.00	100.0%	\$0.00
Div 15	CPR 07 Sprinkler System Changes (CO3)	\$5,573.00	\$5,573.00	\$0.00		\$5,573.00	100.0%	\$0.00
Div 16	Additional temperature transmitter (CO 4)	\$147.00	\$147.00	\$0.00		\$147.00	100.0%	\$0.00
3300	Repair Ext Floor Slab (CO 4)	\$2,906.00	\$2,906.00	\$0.00		\$2,906.00	100.0%	\$0.00
Div 16	Repair Ext Electric To allow test pumping (CO4)	\$799.58	\$799.58	\$0.00		\$799.58	100.0%	\$0.00
Div 16	Add GE Junction Box (CO4)	\$1,015.00	\$1,015.00	\$0.00		\$1,015.00	100.0%	\$0.00
Div 16	Replace Electric Panel L1 (CO5)	\$1,473.15	\$1,473.15	\$0.00		\$1,473.15	100.0%	\$0.00
Div 9	Paint Floor (CO5)	\$6,130.00	\$6,130.00	\$0.00		\$6,130.00	100.0%	\$0.00
Div 16	Extra Primary Conduit Work (CO6)	\$1,883.70	\$1,883.70	\$0.00		\$1,883.70	100.0%	\$0.00
15100/15200	Pipe Loop/Chem Intj/Disconnects (CO6)	\$5,525.00	\$5,525.00	\$0.00		\$5,525.00	100.0%	\$0.00
Div 3	Floor Inv./Injection/Emergency Lighting (CO7)	\$18,724.61	\$18,724.61	\$0.00		\$18,724.61	100.0%	\$0.00
Div 5	Replace Grating	\$378.25	\$378.25	\$0.00		\$378.25	100.0%	\$0.00
Div 7	Roofing Changes	\$3,827.50	\$3,827.50	\$0.00		\$3,827.50	100.0%	\$0.00
Div 10 16 17	CO 9	\$6,491.60	\$6,491.60	\$0.00		\$6,491.60	100.0%	\$0.00
Div 15	CO 10	\$19,658.55	\$19,658.55	\$0.00		\$19,658.55	100.0%	\$0.00
Totals		\$1,697,672.87	\$1,697,672.87	\$0.00	\$0.00	\$1,697,672.87	100.0%	\$0.00



# Engineer's Statement of Completion

Project: <b>ASR Well No. 1, Well Pump and Control Building Improvements</b>	Date of Contract: <b>March 25, 2014</b>
Owner: <b>City of Grimes, Iowa</b>	Owner's Contract No.:
Engineer: <b>FOX Engineering</b>	Engineer's Project No.: <b>3364-13A</b>
Contractor: <b>C.L. Carroll Co., Inc.</b>	

I hereby state that the construction of **ASR Well No. 1, Well Pump and Control Building Improvements** project by a Contract dated March 25, 2014 has been satisfactorily completed in general compliance with the terms, conditions, and stipulations of said Contract.

The work was completed on April 15, 2016. The Contract completion date is August 17, 2015.

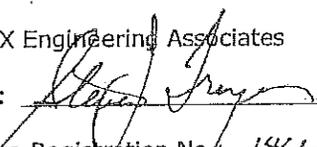
I further state that the total amount due to the Contractor for the fulfillment of said Contract is \$ 1,697,672.87.

The derivation of this total amount is tabulated on the attached sheet.

A total of \$1,692,672.87 has been paid previously, leaving \$5,000.00 due as of the date of this document. The remaining \$5,000.00 is retainage that shall then be paid no sooner than thirty (30) days following formal acceptance of the construction by the City Council provided that no unpaid claims exist in connection with this Contract. The Contractor will receive interest on any unpaid balance at the maximum legal rate from and after thirty (30) days following acceptance of the project by the City Council.

**Signed:**

FOX Engineering Associates

By: 

Iowa Registration No.: 14665

Date: 6-6-16

FOX PN: 3364-13A

**Accepted by:**

Owner: \_\_\_\_\_

Resolution: \_\_\_\_\_

Date: \_\_\_\_\_

Signed: \_\_\_\_\_

Title: \_\_\_\_\_

Attest: \_\_\_\_\_

Distribution:

- Engineer
- Contractor
- Owner
- IDNR



# Progress Estimate

# Contractor's Application

For (contract): Heritage at Grimes - Plat 2 Phase 4 - Division I & Division II					Owner's Proj. No.:		Application Number: 2				
Contractor: Concrete Technologies, Inc.					Engineer's Proj. No.: 1005-16A		Application Date: 6/14/2016				
A		B			C	D	E	F		G	
Bid Item No.	Item Description	Bid Quantity	Qty added by Change Order	Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
<b>DIVISION I: NE BEAVERBROOKE BLVD PAVING IMPROVEMENTS</b>											
7.01	PAVEMENT, PCC, 9" W/ CD BASKETS	33,872		\$48.00	\$1,625,856.00						\$1,625,856.00
7.02	PAVEMENT, PCC, 9", FULL DEPTH COLOR	237		\$164.50	\$38,986.50						\$38,986.50
7.03	PAVEMENT, PCC, 9" W/ CD BASKETS, FULL DEPTH COLOR	953		\$104.00	\$99,112.00						\$99,112.00
7.04	PAVEMENT, PCC, 7"	2,477		\$48.00	\$118,896.00						\$118,896.00
7.05	PAVEMENT, PCC, 5", FULL DEPTH COLOR, STAMPED	713		\$84.75	\$60,426.75						\$60,426.75
7.06	PAVEMENT, PCC, 4", MOW STRIP	1,140		\$44.00	\$50,160.00						\$50,160.00
7.07	BEAM CURB	475		\$54.50	\$25,887.50						\$25,887.50
7.08	PAVEMENT, HMA, 6"	347		\$63.50	\$22,034.50						\$22,034.50
7.09	SHARED USE PATH, PCC, 5"	11,728		\$32.50	\$381,160.00						\$381,160.00
7.10	SIDEWALK, PCC, 5"	30,845		\$4.95	\$152,682.75						\$152,682.75
7.11	DETECTABLE WARNING	830		\$33.00	\$27,390.00						\$27,390.00
9.01	CONCRETE WASHOUT	1		\$13,750.00	\$13,750.00						\$13,750.00
9.02	1-1/2" DECORATIVE ROCK	110		\$253.50	\$27,885.00						\$27,885.00
11.01	MOBILIZATION	1		\$46,000.00	\$46,000.00	0.2	\$9,200.00		\$9,200.00	20.0%	\$36,800.00
11.02	PAINTED PAVEMENT MARKINGS, DURABLE, NON GROOVE CUT	85.08		\$102.25	\$8,699.43						\$8,699.43
11.03	PAINTED SYMBOLS & LEGENDS, DURABLE, NON GROOVE CUT	25		\$236.50	\$5,912.50						\$5,912.50
11.04	PAINTED PAVEMENT MARKINGS, THERMOPLASTIC, GROOVE CUT	84.52		\$337.75	\$28,546.63						\$28,546.63
11.05	PAINTED SYMBOLS & LEGENDS, THERMOPLASTIC, GROOVE CUT	20		\$495.00	\$9,900.00						\$9,900.00
11.06	TRAFFIC CONTROL	1		\$2,750.00	\$2,750.00						\$2,750.00
11.07	SIGNAGE	675.61		\$20.00	\$13,512.20						\$13,512.20
11.08	POSTS FOR SIGNS	1,560		\$8.25	\$12,870.00						\$12,870.00
<b>DIVISION II: HIGHWAY 141 TURN LANES &amp; TRAFFIC SIGNAL</b>											
1	SAWCUT PAVEMENT	2,730		\$3.85	\$10,510.50	2730	\$10,510.50		\$10,510.50		\$434.50
2	REMOVAL OF PAVEMENT MARKING	7.9		\$55.00	\$434.50						
3	PAVEMENT, PCC, 12"	4,368		\$77.00	\$336,336.00	4368	\$336,336.00		\$336,336.00		
4	PAVEMENT, PCC, 9"	694		\$70.00	\$48,580.00						\$48,580.00
5	PAVEMENT, PCC, 8"	952		\$60.00	\$57,120.00						\$57,120.00
6	PAVEMENT, PCC, 5", COLORED & STAMPED	35		\$220.00	\$7,700.00						\$7,700.00
7	PAVEMENT, PCC, 4", MOW STRIP	17		\$193.00	\$3,281.00						\$3,281.00
8	GRANULAR SHOULDER	420		\$43.50	\$18,270.00	420	\$18,270.00		\$18,270.00		
9	CONCRETE WASHOUT	1		\$2,750.00	\$2,750.00	1	\$2,750.00		\$2,750.00	####	\$1,914.00
10	TRAFFIC CONTROL	1		\$9,570.00	\$9,570.00	0.8	\$7,656.00		\$7,656.00	80.0%	\$4,253.40
11	PAINTED PAVEMENT MARKINGS (WATERBORNE)	66.72		\$63.75	\$4,253.40						\$484.00
12	PAINTED PAVEMENT SYMBOLS (WATERBORNE)	4		\$121.00	\$484.00						\$484.00
13	POSTS FOR SIGNS (WOOD)	180		\$14.25	\$2,565.00						\$2,565.00
14	SIGNS	213.08		\$23.00	\$4,900.84						\$4,900.84
15	TRAFFIC SIGNALS	1		\$236,000.00	\$236,000.00			\$7,318.48	\$7,318.48	3.1%	\$228,681.52
16	MOBILIZATION	1		\$17,500.00	\$17,500.00	1	\$17,500.00		\$17,500.00	####	
<b>Totals</b>					<b>\$3,532,673.00</b>		<b>\$402,222.50</b>	<b>\$7,318.48</b>	<b>\$409,540.98</b>	<b>####</b>	<b>\$3,123,132.02</b>

# Stored Material Summary

# Contractor's Application

For (contract):		Heritage at Grimes - Plat 2 Phase 4 - Division I & Division II			Owner's Proj. No.:		Application Number: 2		
Contractor:		Concrete Technologies, Inc.			Engineer's Proj. No.: 1005-16A		Application Date: 6/14/2016		
A	B	C	D		E		F		G
Invoice No.	Shop Drawing Transmittal No.	Materials Description	Stored Previously		Stored this Month		Incorporated in Work		Materials Remaining in Storage (\$) (D + E - F)
			Date (Mo./Year)	Amount (\$)	Amount (\$)	Subtotal	Date (Mo./Year)	Amount (\$)	
162627	N/A	Traffic Signal Castings			\$3,483.36	\$3,483.36			\$3,483.36
0140292-IN	7	Traffic Signal Poles			\$1,441.12	\$1,441.12			\$1,441.12
53604	N/A	Loop Sealer			\$2,394.00	\$2,394.00			\$2,394.00
<b>Totals</b>					<b>\$7,318.48</b>	<b>\$7,318.48</b>			<b>\$7,318.48</b>



Project: Grimes, IA - Water/Wastewater Improvements  
 Contractor: Rice Lake Construction Group  
 Engineer: FOX Engineering

Owner: City of Grimes

Application Number: 1  
 Date of application: 5/25/2016  
 Work completed through: 5/25/2016

Pay Item Number	Description	B Scheduled Value	C From Previous Application (C+D)	D This Period	E Materials Presently Stored (not in Col D)	Total Completed and Stored to Date (C + D + E)	% (E)	Balance to Finish
1	<b>Insurance</b>							
1A	Insurance - Wastewater	\$28,000.00		\$28,000.00		\$28,000.00	100.00	\$0.00
1B	Insurance - Water	\$7,000.00		\$7,000.00		\$7,000.00	100.00	\$0.00
2	<b>Mobilization</b>							
2A	Mobilization - Wastewater	\$120,000.00		\$120,000.00		\$120,000.00	100.00	\$0.00
2B	Mobilization - Water	\$30,000.00		\$30,000.00		\$30,000.00	100.00	\$0.00
3	<b>Demobilization</b>							
3A	Demobilization - Wastewater	\$20,000.00				\$0.00	0.00	\$20,000.00
3B	Demobilization - Water	\$5,000.00				\$0.00	0.00	\$5,000.00
4	<b>Silt Fence</b>	\$10,000.00		\$2,500.00		\$2,500.00	25.00	\$7,500.00
5	<b>Demolition of Existing Facilities/Pavement</b>							
5A	- Misc. Demo	\$15,000.00				\$0.00	0.00	\$15,000.00
5B	- Sludge Removal	\$65,000.00				\$0.00	0.00	\$65,000.00
6	<b>Lagoon Liner</b>	\$135,000.00				\$0.00	0.00	\$135,000.00
7	<b>Earthwork - 6500 CY</b>							
7A	- Earthwork	\$175,000.00				\$0.00	0.00	\$175,000.00
8	<b>Site Piping</b>							
8A	-Purchase Pipe	\$100,000.00				\$0.00	0.00	\$100,000.00
8B	-Purchase Manholes	\$20,000.00				\$0.00	0.00	\$20,000.00
8C	-Install	\$75,000.00				\$0.00	0.00	\$75,000.00
9	<b>Sidewalks, Bollards, Misc Conc</b>	\$7,500.00				\$0.00	0.00	\$7,500.00
10	<b>Seeding/Landscaping</b>	\$13,000.00				\$0.00	0.00	\$13,000.00
11	<b>Concrete Reinforcement - 45 Ton</b>							
11A	-Purchase	\$35,000.00			\$34,010.00	\$34,010.00	97.17	\$990.00
11B	-Install	\$32,000.00				\$0.00	0.00	\$32,000.00
12	<b>Concrete Work - 600 CY</b>							
12A	-Screw Pump Station	\$335,000.00				\$0.00	0.00	\$335,000.00
12B	-Peak Flow Diversion Structure	\$50,000.00				\$0.00	0.00	\$50,000.00
12C	-Generator Pad	\$6,000.00				\$0.00	0.00	\$6,000.00
12D	-Transformer Pad	\$2,000.00				\$0.00	0.00	\$2,000.00
12E	-Limo Silo Foundation	\$30,000.00				\$0.00	0.00	\$30,000.00
12F	-Overflow Outlet	\$6,000.00				\$0.00	0.00	\$6,000.00

Project: Grimes, IA - Water/Wastewater Improvements  
 Contractor: Rice Lake Construction Group  
 Engineer: FOX Engineering

Owner: City of Grimes

Application Number: 1  
 Date of application: 5/25/2016  
 Work completed through: 5/25/2016

Pay Item Number	Item Description	B	C	D	E	Total Completed and Stored to Date (C + D + E)	% (E)	Balance to Finish
		Scheduled Value	From Previous Application (C+D)	This Period	Materials Presently Stored (not in Col D)			
12G	-EQ Basin Outlet	\$6,000.00				\$0.00	0.00	\$6,000.00
12H	-Gateway Pump Station Foundation	\$10,000.00				\$0.00	0.00	\$10,000.00
12I	-Raw Water Pump Station	\$15,000.00				\$0.00	0.00	\$15,000.00
13	Masonry	\$10,000.00				\$0.00	0.00	\$10,000.00
14	Misc. Metals							
14A	-Purchase	\$40,000.00				\$0.00	0.00	\$40,000.00
14B	-Install	\$20,000.00				\$0.00	0.00	\$20,000.00
15	FRP Grating							
15A	-Purchase	\$15,000.00				\$0.00	0.00	\$15,000.00
15B	-Install	\$5,000.00				\$0.00	0.00	\$5,000.00
16	Carpentry							
16A	-Purchase	\$2,000.00				\$0.00	0.00	\$2,000.00
16B	-Install	\$2,500.00				\$0.00	0.00	\$2,500.00
17	Doors & Frames	\$6,000.00				\$0.00	0.00	\$6,000.00
18	Overhead Door	\$5,000.00				\$0.00	0.00	\$5,000.00
19	Painting	\$15,000.00				\$0.00	0.00	\$15,000.00
20	Identifying Devices	\$2,000.00				\$0.00	0.00	\$2,000.00
21	Lime Silo Storage Tank							
21A	-Purchase	\$271,000.00				\$0.00	0.00	\$271,000.00
21B	-Install	\$5,000.00				\$0.00	0.00	\$5,000.00
22	Screw Press							
22A	-Purchase	\$164,000.00				\$0.00	0.00	\$164,000.00
22B	-Install	\$15,000.00				\$0.00	0.00	\$15,000.00
23	Mechanical Screen Repair	\$5,000.00				\$0.00	0.00	\$5,000.00
24	Screenings Wash Press							
24A	-Purchase	\$80,000.00				\$0.00	0.00	\$80,000.00
24B	-Install	\$10,000.00				\$0.00	0.00	\$10,000.00
25	FRP Enclosure & Flume							
25A	-Purchase	\$20,000.00				\$0.00	0.00	\$20,000.00
25B	-Install	\$5,900.00				\$0.00	0.00	\$5,900.00
26	Process Piping & Valves							
26A	-Purchase	\$15,000.00				\$0.00	0.00	\$15,000.00

Project: Grimes, IA - Water/Wastewater Improvements  
 Contractor: Rice Lake Construction Group  
 Engineer: FOX Engineering

Owner: City of Grimes

Application Number: 1  
 Date of application: 5/25/2016  
 Work completed through: 5/25/2016

Pay Item Number	Item Description	B	C	D	E	Total Completed and Stored to Date (C + D + E)	% (E)	Balance to Finish
		Scheduled Value	From Previous Application (C+D)	This Period	Materials Presently Stored (not in Col D)			
26B	-Install	\$7,500.00				\$0.00	0.00	\$7,500.00
27	Electrical							
27A	Electrical - Wastewater	\$268,000.00				\$0.00	0.00	\$268,000.00
27B	Electrical - Lime Silo (Water)	\$6,000.00				\$0.00	0.00	\$6,000.00
27C	Electrical - Gateway Pump Station	\$13,000.00				\$0.00	0.00	\$13,000.00
27D	Controls - Wastewater	\$95,000.00				\$0.00	0.00	\$95,000.00
27E	Controls - Lime Silo (Water)	\$12,000.00				\$0.00	0.00	\$12,000.00
27F	Controls - Gateway Pump Station	\$31,000.00				\$0.00	0.00	\$31,000.00
	Change Orders							
	Change Order No. 1	\$89,000.00				\$0.00	0.00	\$89,000.00
	Original Contract Amount	\$2,498,400.00	\$0.00	\$187,500.00	\$34,010.00	\$221,510.00	8.87	\$2,365,890.00
	Revised CONTRACT AMOUNT	\$2,587,400.00						
		\$0.00						

EJCDC No. C-620 (2002 Edition)

Prepared by the Engineers' Joint Contract Documents Committee and endorsed by the Associated General Contractors of America and the Construction Specifications Institute.





# Progress Estimate

# Contractor's Application

For (Contract): 2015 Grimes Parkland Improvements Project  
 Contractor: Covenant Construction Services, LLC

Owner's Proj. No.:  
 Engineer's Proj. No.: 8630-15P

Application Number: 5  
 Application Date: 6/14/2016

A		B					C	D	E	F		G
Bid Item No.	Description	Bid Quantity	Quantity Change (By Change Order)	Total Quantity	Unit Price	Extended Price	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Amount and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
1.01	Mobilization	1		1	\$50,325.00	\$50,325.00	1	\$50,325.00		\$50,325.00	100.0%	
1.02	Removals	1		1	\$5,032.00	\$5,032.00	1	\$5,032.00		\$5,032.00	100.0%	
2.01	Earthwork - North Sports Complex	1		1	\$47,676.00	\$47,676.00	1	\$47,676.00		\$47,676.00	100.0%	
2.02	Earthwork - Autumn Park	1		1	\$12,714.00	\$12,714.00	1	\$12,714.00		\$12,714.00	100.0%	
2.03	Earthwork - Glenstone Park	1		1	\$1,271.00	\$1,271.00	1	\$1,271.00		\$1,271.00	100.0%	
2.04	Subgrade Preparation - Parking Lot	1,433		1433	\$7.42	\$10,632.86						\$10,632.86
2.05	Ag-Lime Placement, 6-inch	1,560		1560	\$6.75	\$10,530.00	1560	\$10,530.00		\$10,530.00	100.0%	
2.06	Playground Area - Autumn Park	1		1	\$15,892.00	\$15,892.00						\$15,892.00
4.01	Subdrain, 6-inch	90		90	\$68.87	\$6,198.30						\$6,198.30
4.02	FES, 6-inch	1		1	\$530.00	\$530.00						\$530.00
4.03	Subdrain Cleanout	2		2	\$741.50	\$1,483.00						\$1,483.00
6.01	Modify Existing Intake	1		1	\$2,649.00	\$2,649.00						\$2,649.00
7.01	Sidewalk, PCC, 4-inch - North Sports Complex	514	91	605	\$38.14	\$23,074.70	605	\$23,074.70		\$23,074.70	100.0%	
7.02	Trail, PCC, 5-inch - North Sports Complex	2049	603	2652	\$40.26	\$106,769.52	2016	\$81,164.16		\$81,164.16	76.0%	\$25,605.36
7.03	Integral Sidewalk - North Sports Complex	1877		1877	\$44.50	\$83,526.50	825	\$36,712.50		\$36,712.50	44.0%	\$46,814.00
7.04	Bleacher/Dugout Paving, PCC, 5-inch - North Sports Complex	1323		1323	\$40.26	\$53,263.98	1323	\$53,263.98		\$53,263.98	100.0%	
7.05	Sidewalk/Trail, PCC - Autumn Park	543		543	\$40.26	\$21,861.18						\$21,861.18
7.06	Sidewalk/Trail, PCC - Glenstone Park	508		508	\$42.38	\$21,529.04	508	\$21,529.04		\$21,529.04	100.0%	
7.07	8" Rock Subbase	600		600	\$31.78	\$19,068.00	60	\$1,906.80		\$1,906.80	10.0%	\$17,161.20
7.08	Parking Lot Paving, 6-inch RCC	5199		5199	\$34.96	\$181,757.04						\$181,757.04
9.01	Painting & Signage	1		1	\$2,961.00	\$2,961.00						\$2,961.00
9.01	Concession Stand	1		1	\$514,778.00	\$514,778.00						\$514,778.00
9.02	Ballfield #1, Baseball Fence	1		1	\$24,474.00	\$24,474.00	1	\$24,474.00		\$24,474.00	100.0%	
9.03	Ballfield #2 Thru #6, Softball Fence	5		5	\$19,801.00	\$98,901.00	5	\$98,901.00		\$98,901.00	100.0%	
9.04	Batting Cage & Pitching Warmup Construction	2		2	\$12,576.00	\$25,152.00	1	\$12,576.00		\$12,576.00	50.0%	\$12,576.00
9.05	4-ft Chain Link Fence	313		313	\$14.00	\$4,382.00						\$4,382.00
9.06	Dugout Construction	12		12	\$3,430.00	\$41,160.00	12	\$41,160.00		\$41,160.00	100.0%	
9.07	Basketball Court (Half)	1		1	\$21,251.00	\$21,251.00						\$21,251.00
9.08	Landscaping - North Sports Park	1		1	\$47,305.00	\$47,305.00						\$47,305.00
9.09	Landscaping - Autumn Park	1		1	\$58,112.00	\$58,112.00						\$58,112.00
9.10	Irrigation Fixture Adjustment	10		10	\$105.90	\$1,059.00						\$1,059.00
9.11	Irrigation Modification - Field 1	1		1	\$1,986.00	\$1,986.00	1	\$1,986.00		\$1,986.00	100.0%	
9.12	Hydraulic Seeding, Seeding, Fertilizing, and Mulching - North Sports Park	2		2	\$4,502.50	\$9,005.00						\$9,005.00
9.13	Hydraulic Seeding, Seeding, Fertilizing, and Mulching - Type 1 - Autumn Park	0.5		0.5	\$4,502.50	\$2,251.25						\$2,251.25
9.14	Hydraulic Seeding, Seeding, Fertilizing, and Mulching - Type 1 - Glenstone Park	0.25		0.25	\$4,502.50	\$1,125.63						\$1,125.63
9.15	Erosion Control Mulching, Hydromulching - North Sports Park	2		2	\$2,648.50	\$5,297.00						\$5,297.00
9.16	Erosion Control Mulching, Hydromulching - Autumn Park	0.5		0.5	\$2,648.00	\$1,324.50						\$1,324.50
9.17	Erosion Control Mulching, Hydromulching - Glenstone Park	0.25		0.25	\$2,648.00	\$662.25						\$662.25
9.18	Filter Sock	1000		1000	\$2.12	\$2,120.00						\$2,120.00
CO1	Value Engineering		1	1	-\$133,008.00	-\$133,008.00						-\$133,008.00
CO2	Ag-Lime Placement, 6-inch	100		100	\$42.00	\$4,200.00						\$4,200.00
CO3.1	10' Batting Cage Service Gate	4		4	\$990.00	\$3,960.00	4	\$3,960.00		\$3,960.00	100.0%	
CO3.2	Dugout Modifications	1		1	\$5,791.50	\$5,791.50	1	\$5,791.50		\$5,791.50	100.0%	
CO3.3	Autumn Park Swingset Area	1		1	\$11,253.00	\$11,253.00						\$11,253.00
CO3.4	Concession Stand Doorstep Upgrade	1		1	\$239.80	\$239.80						\$239.80
<b>Totals</b>						<b>\$1,431,526.05</b>		<b>\$534,047.68</b>		<b>\$534,047.68</b>	<b>37.3%</b>	<b>\$897,478.37</b>

Unit Price Contract

# Contractor's Application for Payment No. 9

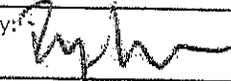
Project:	Heritage at Grimes Flat 2 - Phase 2 - Little Beaver Creek Tributary Crossing	From (Contractor):	Jensen Construction Company	Application Date:	6/14/2016
To (Owner):	City of Grimes	Owner's Project No.:		Period From:	5/1/2016
Via (Engineer):	FOX Engineering	Engineer's Proj. No.:	1005-15C	Period To:	5/31/2016

Approved Change Order Summary:			
No.	Date Approved	Additions	Deductions
1	11/10/2015	\$46,529.56	
2	3/8/2016	-	
3	4/12/2016	\$20,705.00	
4	5/10/2016	\$9,549.24	
TOTALS		\$76,783.80	
NET CHANGE BY CHANGE ORDERS		\$76,783.80	

1.	ORIGINAL CONTRACT PRICE.....	\$	1,604,310.00
2.	Net change by Change Orders.....	\$	76,783.80
3.	Current Contract Price (Line 1 + 2).....	\$	1,681,093.80
4.	TOTAL COMPLETED AND STORED TO DATE (Column F on Progress Estimate).....	\$	1,430,142.80
5.	RETAINAGE:		
	a. 5% X \$1,430,142.80 Work Completed.....	\$	71,507.14
	b. 5% X _____ Stored Material.....	\$	
	c. Less Total Retainage Released Early.....	\$	
	d. Total Retainage (Line 5a + Line 5b - Line 5c).....	\$	71,507.14
6.	AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5c).....	\$	1,358,635.66
7.	LESS PREVIOUS PAYMENTS (Line 6 from prior Application).....	\$	1,241,444.38
8.	AMOUNT DUE THIS APPLICATION.....	\$	117,191.28
9.	BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above).....	\$	322,458.14

**Contractor's Certification**

The undersigned Contractor certifies that to the best of its knowledge: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By:  Date: 

Payment of: \$ **117,191.28**  
 \_\_\_\_\_  
 (Line 8 or other - attach explanation of the other amount)

is recommended by: \_\_\_\_\_ (Engineer) \_\_\_\_\_ (Date)

Payment of: \$ **117,191.28**  
 \_\_\_\_\_  
 (Line 8 or other - attach explanation of the other amount)

is approved by: \_\_\_\_\_ (Owner) \_\_\_\_\_ (Date)

Endorsed by the Construction Specifications Institute.

# Progress Estimate

# Contractor's Application

For (contract): Heritage at Grimes Plat 2 - Little Beaver Creek Tributary  
 Contractor: Jensen Construction Company

Owner's Proj. No.:  
 Engineer's Proj. No.:

1005-15C

Application Number: 9  
 Application Date: 6/14/2016

A		B				C	D	E	F		G	
Bid Item No.	Description	Bid Quantity	Qty added by Change Order	Unit Price	Bid Value	Total Value After Change Orders	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
<b>ESTIMATED CULVERT QUANTITIES</b>												
1.1	STRUCTURAL CONCRETE (RCB)	755		\$800.00	\$604,000.00	\$604,000.00	755	\$604,000.00		\$604,000.00	100.0%	
1.2	GRANULAR BACKFILL	1,480		\$45.00	\$66,600.00	\$66,600.00	1480	\$66,600.00		\$66,600.00	100.0%	
1.3	SPECIAL BACKFILL	465		\$57.00	\$26,505.00	\$26,505.00	465	\$26,505.00		\$26,505.00	100.0%	
1.4	REVTMENT, CLASS E	490		\$48.00	\$23,520.00	\$23,520.00	255.75	\$12,276.00		\$12,276.00	52.2%	\$11,244.00
1.5	ELECTRICAL CIRCUITS	1		\$10,000.00	\$10,000.00	\$10,000.00						\$10,000.00
<b>ESTIMATED RETAINING WALL QUANTITIES</b>												
2.1	STRUCTURAL CONCRETE (MISC)	785		\$830.00	\$610,050.00	\$610,050.00	643	\$533,690.00		\$533,690.00	87.5%	\$76,360.00
2.2	GRANULAR BACKFILL	1,870		\$64.00	\$119,680.00	\$119,680.00	767	\$49,088.00		\$49,088.00	41.0%	\$70,592.00
2.3	ORNAMENTAL METAL RAILING	615		\$70.00	\$43,050.00	\$43,050.00						\$43,050.00
2.4	PRECAST CONCRETE COLUMN CAPS	19		\$1,500.00	\$28,500.00	\$28,500.00						\$28,500.00
2.5	CONCRETE RUSTICATION AESTHETICS	8,045		\$9.00	\$72,405.00	\$72,405.00	6800	\$61,200.00		\$61,200.00	84.5%	\$11,205.00
CO1.1	QUAD BOX BASE OVER-EXC.-FIXED COSTS (LS)		1	\$12,000.00		\$12,000.00	1	\$12,000.00		\$12,000.00	100.0%	
CO1.2	QUAD BOX BASE OVER-EXC.-EXCAVATION (CY)		306	\$31.00		\$9,486.00	306	\$9,486.00		\$9,486.00	100.0%	
CO1.3	QUAD BOX BASE OVER-EXC.-SUBBASE (TON)		472.52	\$53.00		\$25,043.56	472.52	\$25,043.56		\$25,043.56	100.0%	
CO3.1	FOOTING RECONFIGURATION		1	\$20,705.00		\$20,705.00	1	\$20,705.00		\$20,705.00	#DIV/0!	-\$20,705.00
CO4.1	SANITARY SEWER REPAIR		1	\$9,549.24		\$9,549.24	1	\$9,549.24		\$9,549.24	#DIV/0!	-\$9,549.24
<b>Totals</b>					<b>\$1,604,310.00</b>	<b>\$1,681,093.80</b>		<b>\$1,430,142.80</b>		<b>\$1,430,142.80</b>	<b>89.1%</b>	<b>\$250,951.00</b>

ACCOUNT	NAME	DATE	TYPE	CK #	AMOUNT	CODE	RECEIPT	DEPOSIT AMOUNT	MESSAGE
01-025010-01	REES, ANDREW	0/00/00	FINAL BILL	0	68.56CR	100	00000000	100.00CR	
01-037270-01	FEAUTO, SIERRA	0/00/00	FINAL BILL	0	48.43CR	100	00123999	100.00CR	
01-060600-01	PENDER, BRIAN	0/00/00	FINAL BILL	0	66.18CR	100	00000000	100.00CR	
01-093700-02	JEFFRIES, MELISSA	0/00/00	FINAL BILL	0	78.51CR	100	00000000	100.00CR	
01-115900-05	TRACY, KRISTI	0/00/00	FINAL BILL	0	80.54CR	100	00095251	100.00CR	
01-119500-02	TATE, DAVID	0/00/00	FINAL BILL	0	71.70CR	100	00127132	100.00CR	
01-155800-07	OLSON, JACK	0/00/00	FINAL BILL	0	189.55CR	100	00057002 100 00000000	100.00CR 100.00CR	
01-182946-01	HAMILTON, HILARY	0/00/00	FINAL BILL	0	68.27CR	100	00127686	100.00CR	
01-232500-02	NGUYEN, CATHY	0/00/00	FINAL BILL	0	119.87CR	000		0.00	
01-333303-02	MCCAULEY, ERIN	0/00/00	FINAL BILL	0	70.83CR	100	00095728	100.00CR	
01-344204-04	MEYER, ZACHARY	0/00/00	FINAL BILL	0	77.05CR	100	00131406	100.00CR	
02-009100-00	DURATOVIC, NERMINA	0/00/00	FINAL BILL	0	66.20CR	100	00000000	100.00CR	
03-999884-00	ERICKSON BALMER CONSTRUCTI	0/00/00	FINAL BILL	0	325.00CR	150	00169790	325.00CR	- Hydrant water meter

TOTAL REFUNDS: 13  
 AMOUNT: 1,330.69CR

ERRORS: 0

\*\* END OF REPORT \*\*



MEMBRANE WATER TREATMENT SYSTEMS

Harn R/O Systems, Inc.  
310 Center Court  
Venice, FL 34285  
Phone (941) 488-9671  
Fax (941) 488-9400

INVOICE NUMBER: 1868-IN  
INVOICE DATE: 06/10/16  
CUSTOMER NO: GRI001  
JOB NO: 16-2192C  
TERMS: Net 30

**BILL TO:** City of Grimes  
101 NE Harvey Street  
Grimes, IA 50111

**SHIP TO:** City of Grimes WTP  
1801 N. James Street  
Grimes, IA 50111

DESCRIPTION:

AMOUNT

City of Grimes Phase I Water System Improvements -  
Emergency Supplemental Supply Reverse Osmosis System

Contract Amount: \$ 538,950.00  
Completed To Date: 538,950.00  
Previous Billings: 431,160.00  
Previous Payments: 431,160.00  
Outstanding Balance: -  
Balance: 107,790.00

**This Period:**

20% - Completion of Contract

107,790.00

*OK to pay per  
Steve Sings  
work complete*

**Amount Due This Invoice: \$ 107,790.00**

Payment Terms are Net 30 days. 1.5% will be charged each month on past due invoices.

✓  
The Iowa Clinic, P.C.  
5950 University Ave. #321  
West Des Moines, IA 50266

**INVOICE**

DATE 06/08/16

Grimes Fire Department

Date	Description	Amount Due
Jun-16	Work Comp Physicals provided by The Iowa Clinic, P.C. 19 firefighters @ \$320/physical and related services	\$6,080.00
<b>TOTAL</b>		<b>\$6,080.00</b>

MAKE CHECKS PAYABLE TO:  
The Iowa Clinic - Urgent Care Work Comp  
Attn: Jill Villalobos, Administrative Director Primary Care Services  
5950 University Ave #321  
West Des Moines, IA 50266

P.O. No. \_\_\_\_\_

17929

# CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

## PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier The Iowa Clinic

Name

5950 University Ave #321 West Des Moines, IA 50266

Address

Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
FireFighter Physical	19	\$ 320.00	\$ 6080.00

PURCHASE JUSTIFICATION: \_\_\_\_\_

DEPARTMENT: Fire

LINE ITEM: 001-5-150-6150

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

### PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown  
Kelley L. Brown City Administrator/Clerk *elg*

6-10-16  
Date

Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



June 2, 2016

**Mike Lee**

Civil Design Advantage  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111

**Kennybrook South Plat 2 – Final Plat**

*FOX Ref No: 8630-981.292*

FOX Engineering with assistance from David Schneider, PLS, has completed the second review of the Final Plat for Kennybrook South Plat 2. Please address the following comments:

1. If you have not done so, please submit a check for Final Plat Fees to the City of Grimes as per Chapter 166.13.
2. Please provide "To be vacated" with the label on the existence drainage easement to clarify that it will no longer exist. City attorney will review the Easement Vacation Plat and provide comments as necessary.
3. 166.09.09, the following shall also be attached to and accompany the Final Plat (some of which have already been submitted for review):
  - a. A certificate by the owner that the subdivision is with their free consent and is in accordance with the desire of the owner. This certificate must be signed and acknowledged by the owner and spouse before some officer authorized to that the acknowledgement of deeds.
  - b. A statement from the mortgage holders or lien holders that the plat is prepared with their free consent and in accordance with their desire, signed and acknowledged before an officer authorized to take the acknowledgment of deeds.
  - c. An opinion by an attorney-at-law who has examined the abstract of title of the land being platted. The opinion shall state the names of the proprietors and holders of mortgages, liens or other encumbrances on the land being platted and shall note the encumbrances, along with any bonds securing the encumbrances.
  - d. A resolution and certificate for approval by the Council and signatures of the Mayor and Clerk.
  - e. A certificate of the County Treasurer that the land is free from certified taxes and certified special assessments and that the certified special assessments are secured by bond in compliance with Chapter 354 of the Code of Iowa.
  - f. Please send FOX (John Gade – [jmg@foxeng.com](mailto:jmg@foxeng.com)) and the City Attorney (Erik Fisk - [Fisk@whitfieldlaw.com](mailto:Fisk@whitfieldlaw.com)) a copy of all the proposed easement descriptions. Please DO NOT send original documents. A pdf of the documents via e-mail is the preferred method. Note that the provided easement documents do not contain the exhibit that is referenced in the document that states the legal description of the easement.

- 
4. Utility bonds have been submitted. Please provide a 4-year maintenance bond for all the pavement that will be dedicated to the city. The City Engineer shall review the cost estimates for all improvements to verify the bond amount. Note that the City will not accept the final plat until all improvements (this includes temporary and permanent seeding/stabilization) have been installed unless a performance bond or letter of credit is submitted to the City of Grimes (all Punchlist Items shall be addressed). Prior to the City releasing the resolution, all public improvements shall be completed and accepted by the City.
    - a. The temporary & permanent seeding will not be completed (stabilized), thus a performance bond or letter of credit will be necessary.
    - b. All City invoices shall be paid prior to release of the final plat.
  5. Please DO NOT send original copies of the plats to the City of Grimes. The City does NOT require originals to be stamped. The approval of the plat is the signed resolution by City Council. Note that the signed resolution will not be given to the Developer until all items have been addressed.
  6. Once the Final Plat has been accepted by P&Z and Council, the City requires the following:
    - a. Signed PDF
    - b. 1 Mylar - Signed
    - c. Resolution - The City holds the resolution until all laws, comments, and subdivision punchlist have been addressed.
    - d. Filing - The Developer files the plat once the City releases the resolution.
  7. Please submit record drawings of the Construction Plans. These drawings shall be completed within 30 days of the acceptance of the Final Plat. These drawings shall include all public improvements. A digital copy of the Final Plat and Record Drawings is also required.

**FINAL PLAT SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000. The City reserves the right to modify or add to these comments.

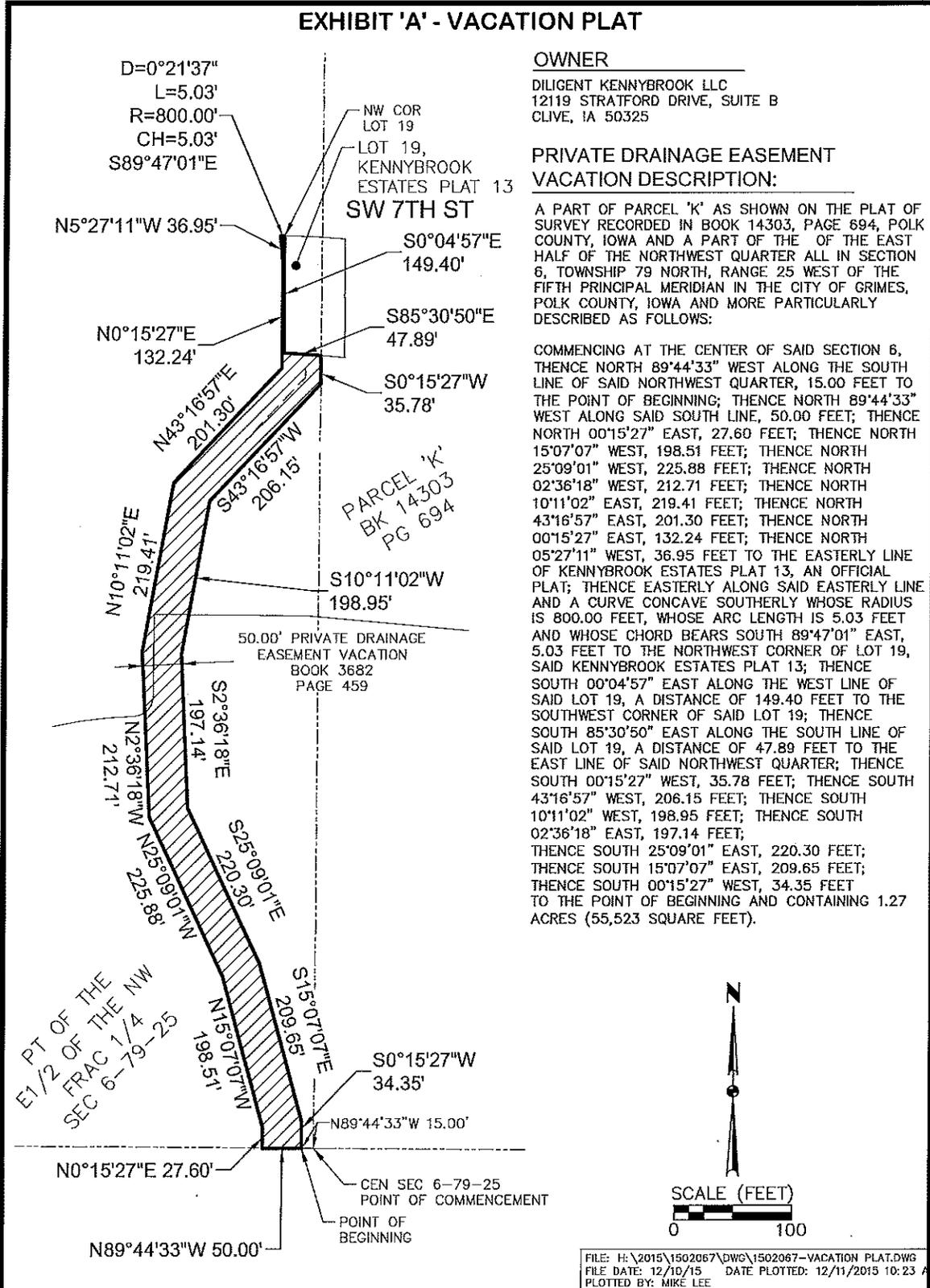
FOX ENGINEERING ASSOCIATES, INC.

*Mitch Holtz*

Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes  
Erik Fisk, City Attorney

**EXHIBIT 'A' - VACATION PLAT**



**OWNER**  
 DILIGENT KENNYBROOK LLC  
 12119 STRATFORD DRIVE, SUITE B  
 CLIVE, IA 50325

**PRIVATE DRAINAGE EASEMENT VACATION DESCRIPTION:**

A PART OF PARCEL 'K' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 14303, PAGE 694, POLK COUNTY, IOWA AND A PART OF THE OF THE EAST HALF OF THE NORTHWEST QUARTER ALL IN SECTION 6, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

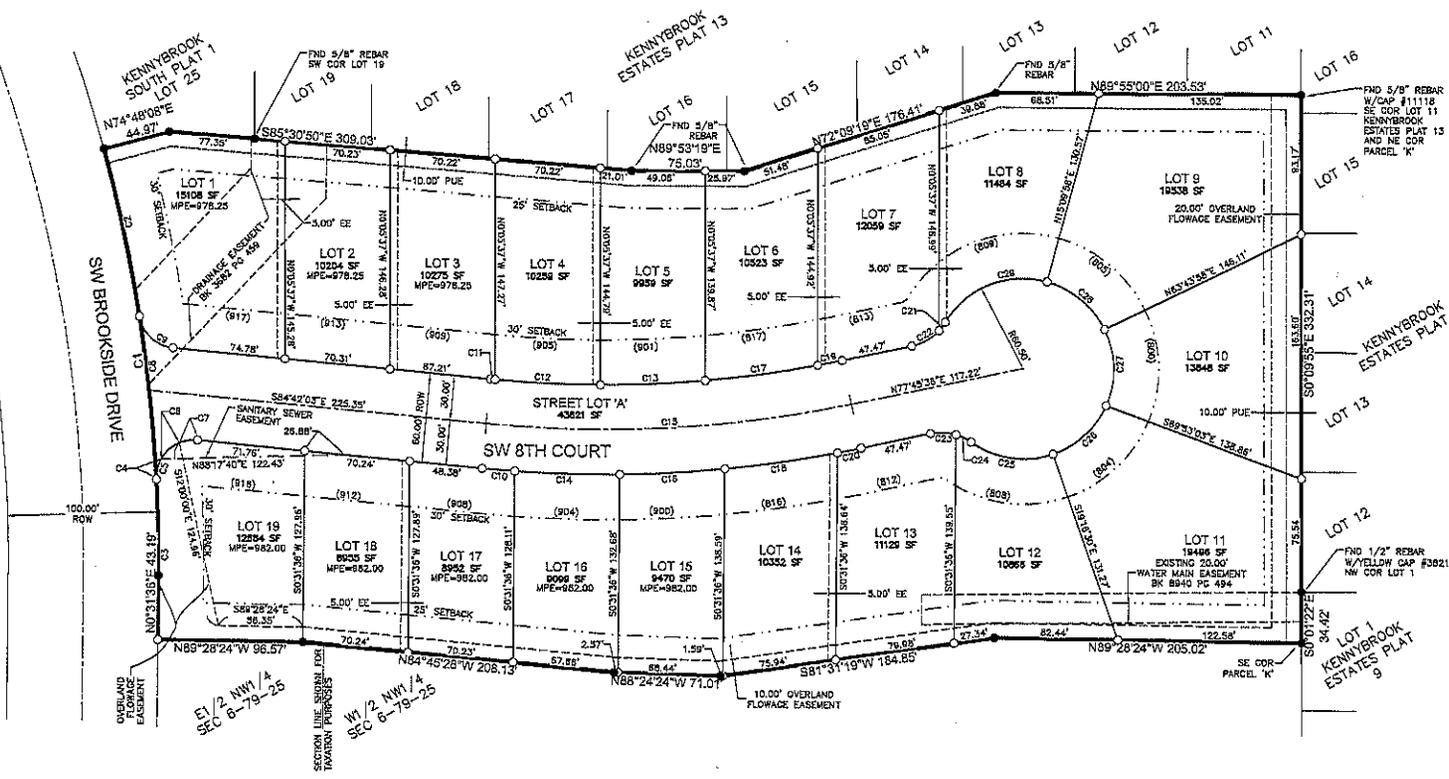
COMMENCING AT THE CENTER OF SAID SECTION 6, THENCE NORTH 89°44'33" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER, 15.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°44'33" WEST ALONG SAID SOUTH LINE, 50.00 FEET; THENCE NORTH 00°15'27" EAST, 27.60 FEET; THENCE NORTH 15°07'07" WEST, 198.51 FEET; THENCE NORTH 25°09'01" WEST, 225.88 FEET; THENCE NORTH 02°36'18" WEST, 212.71 FEET; THENCE NORTH 10°11'02" EAST, 219.41 FEET; THENCE NORTH 43°16'57" EAST, 201.30 FEET; THENCE NORTH 00°15'27" EAST, 132.24 FEET; THENCE NORTH 05°27'11" WEST, 36.95 FEET TO THE EASTERLY LINE OF KENNYBROOK ESTATES PLAT 13, AN OFFICIAL PLAT; THENCE EASTERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 800.00 FEET, WHOSE ARC LENGTH IS 5.03 FEET AND WHOSE CHORD BEARS SOUTH 89°47'01" EAST, 5.03 FEET TO THE NORTHWEST CORNER OF LOT 19, SAID KENNYBROOK ESTATES PLAT 13; THENCE SOUTH 00°04'57" EAST ALONG THE WEST LINE OF SAID LOT 19, A DISTANCE OF 149.40 FEET TO THE SOUTHWEST CORNER OF SAID LOT 19; THENCE SOUTH 85°30'50" EAST ALONG THE SOUTH LINE OF SAID LOT 19, A DISTANCE OF 47.89 FEET TO THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 00°15'27" WEST, 35.78 FEET; THENCE SOUTH 43°16'57" WEST, 206.15 FEET; THENCE SOUTH 10°11'02" WEST, 198.95 FEET; THENCE SOUTH 02°36'18" EAST, 197.14 FEET; THENCE SOUTH 25°09'01" EAST, 220.30 FEET; THENCE SOUTH 15°07'07" EAST, 209.65 FEET; THENCE SOUTH 00°15'27" WEST, 34.35 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.27 ACRES (55,523 SQUARE FEET).

FILE: H:\2015\1502067\DWG\1502067-VACATION PLAT.DWG  
 FILE DATE: 12/10/15 DATE PLOTTED: 12/11/2015 10:23 AM  
 PLOTTED BY: MIKE LEE

# KENNYBROOK SOUTH PLAT 2

## CITY OF GRIMES, POLK COUNTY IOWA

### FINAL PLAT



**CURVE DATA:**

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	15°43'27"	1093.00'	285.18'	N72°00'00"W	287.28'
C2	61°35'58"	1096.00'	114.22'	S120°42'53"E	114.18'
C3	37°03'38"	1050.00'	84.34'	S113°44'E	84.33'
C4	32°02'02"	25.00'	13.95'	S131°08'58"W	13.90'
C5	98°17'00"	25.00'	42.85'	S46°09'27"W	37.82'
C6	38°14'08"	25.00'	16.48'	S48°09'02"W	16.38'
C7	28°00'52"	25.00'	12.22'	S81°17'31"W	12.10'
C8	5°30'51"	1050.00'	109.61'	S3°28'28"E	109.58'
C9	75°44'09"	25.00'	33.05'	S46°49'58"E	30.89'
C10	13°29'20"	830.00'	21.84'	N85°27'17"W	21.84'
C11	01°33'50"	770.00'	3.10'	S84°48'38"E	3.10'
C12	51°25'56"	770.00'	70.09'	S87°32'21"E	70.07'
C13	61°25'58"	770.00'	70.10'	N87°14'42"E	70.08'
C14	43°03'01"	830.00'	70.03'	N88°37'33"W	70.01'
C15	17°32'21"	800.00'	244.09'	N88°31'47"E	243.94'
C16	47°04'43"	830.00'	70.19'	S88°32'04"W	70.17'
C17	57°58'21"	770.00'	75.75'	N81°49'03"E	75.75'
C18	51°45'58"	830.00'	75.97'	S91°29'23"W	75.94'
C19	11°41'18"	770.00'	18.83'	N78°22'44"E	18.83'
C20	11°52'27"	830.00'	15.04'	S78°18'50"W	15.04'
C21	11°38'15"	34.50'	6.99'	N38°19'22"E	6.98'
C22	35°38'04"	34.50'	21.46'	N59°56'34"E	21.11'
C23	28°34'15"	34.50'	17.20'	N87°57'16"W	17.03'
C24	18°40'03"	34.50'	11.24'	N84°20'07"W	11.19'
C25	54°18'28"	60.50'	57.34'	N82°09'18"W	55.22'
C26	45°34'04"	60.50'	49.32'	S47°14'28"W	48.15'
C27	50°33'27"	60.50'	52.26'	S17°44'18"E	51.19'
C28	48°34'01"	60.50'	51.28'	S50°33'02"E	49.78'
C29	74°38'40"	60.50'	70.82'	N67°50'38"E	73.38'

**LEGEND:**

SECTION CORNER AS NOTED	FOUND	SET
1/2" REBAR, YELLOW CAP #18747 (UNLESS OTHERWISE NOTED) <td>●</td> <td>△</td>	●	△
PLATTED BEARING & DISTANCE <td>P</td> <td>M</td>	P	M
MEASURED BEARING & DISTANCE <td>R</td> <td>D</td>	R	D
DEEDED BEARING & DISTANCE <td>D</td> <td>D</td>	D	D
MINIMUM PROTECTION ELEVATION <td>MPE</td> <td></td>	MPE	
PUBLIC UTILITY ELEVATION <td>P.U.E.</td> <td></td>	P.U.E.	
ELECTRIC EASEMENT <td>E.E.</td> <td></td>	E.E.	
CENTERLINE <td>---</td> <td></td>	---	
SECTION LINE <td>----</td> <td></td>	----	

**ENGINEER/SURVEYOR:**  
 CIVIL DESIGN ADVANTAGE  
 3405 SE CROSSROADS DR, SUITE G  
 GRIMES, IOWA 50111

**OWNER/DEVELOPER:**  
 DELIGHT KENNYBROOK LLC  
 12119 STRATFORD DRIVE, SUITE B  
 CLIVE, IA 50325

**DATE OF SURVEY:**  
 JULY 3, 2015

**ZONING:**  
 R2-70

**BULK REGULATIONS:**

**SETBACKS:**

FRONT: 30'  
 REAR: 25'  
 SIDE YARD 1-1/2 STORY: 7' MIN/14 TOTAL  
 SIDE YARD 2-3 STORY: 10' MIN/20 TOTAL

**PLAT DESCRIPTION:**

A PART OF PARCEL "K" AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 14303, PAGE 694-695 IN THE EAST HALF OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 11, KENNYBROOK ESTATES PLAT 13, AN OFFICIAL PLAT IN THE CITY OF GRIMES AND THE NORTHEAST CORNER OF SAID PARCEL "K"; THENCE SOUTH 00°07'35" EAST ALONG THE EASTERLY LINE OF SAID PARCEL "K", 332.31 FEET TO THE NORTHWEST CORNER OF LOT 1, KENNYBROOK ESTATES PLAT 6, AN OFFICIAL PLAT IN THE CITY OF GRIMES; THENCE SOUTH 00°07'22" EAST CONTINUING ALONG SAID EASTERLY LINE, 34.42 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "K"; THENCE NORTH 88°28'24" WEST ALONG THE SOUTHERLY LINE OF SAID PARCEL "K", 205.02 FEET; THENCE NORTH 81°31'19" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 184.50 FEET; THENCE NORTH 88°24'24" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 225.13 FEET; THENCE NORTH 84°42'22" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 86.57 FEET; THENCE NORTH 00°31'36" EAST, 43.19 FEET; THENCE NORTHERLY ALONG SAID CONCAVE SOUTHERLY LINE, 184.50 FEET; THENCE NORTH 88°24'24" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 71.01 FEET; THENCE NORTH 84°42'22" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 225.13 FEET; THENCE NORTH 88°28'24" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 86.57 FEET; THENCE NORTH 00°31'36" EAST, 309.03 FEET; THENCE NORTH 85°33'19" EAST ALONG THE NORTHERLY LINE OF SAID PARCEL "K", 75.03 FEET; THENCE NORTH 72°02'19" EAST CONTINUING ALONG SAID NORTHERLY LINE, 178.41 FEET; THENCE NORTH 89°50'00" EAST CONTINUING ALONG SAID NORTHERLY LINE, 293.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.15 ACRES (287,281 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**NOTE:**

- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONSULT WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- ANY ELEVATIONS SHOWN ON THE FINAL PLAT WERE PROVIDED BY PROJECT ENGINEER AND ARE NOT CERTIFIED BY THIS SURVEYOR.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- STREET LOT "A" WILL BE DEDICATED TO THE CITY OF GRIMES FOR STREET RIGHT OF WAY.

**AREA SUMMARY:**

51/2 NW/4 = 40,747 SF (0.94 AC)  
 1/22 NW/4 = 227,114 SF (5.21 AC)  
 TOTAL = 267,861 SF (6.15 AC)



**PRELIMINARY FOR CONSTRUCTION**

DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS SUPERVISED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED SURVEYOR IN THE STATE OF IOWA UNDER THE NAME OF CIVIL DESIGN ADVANTAGE.

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS SUPERVISED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED SURVEYOR IN THE STATE OF IOWA UNDER THE NAME OF CIVIL DESIGN ADVANTAGE.

DATE: DECEMBER 31, 2015  
 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_  
 THIS SHEET: \_\_\_\_\_

**KENNYBROOK SOUTH PLAT 2**  
 FINAL PLAT

GRIMES, IOWA

**CIVIL DESIGN ADVANTAGE**

ENGINEER:

3405 SE CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (615) 369-4460 FAX: (615) 369-4410

TECH:

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_

1311-466



June 2, 2016

**Mike Lee**

Civil Design Advantage  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111

**Kennybrook South Plat 3 – Final Plat**

FOX Ref No: 8630-981.293

FOX Engineering with assistance from David Schneider, PLS, has completed the second review of the Final Plat for Kennybrook South Plat 3. Please address the following comments:

1. If you have not done so, please submit a check for Final Plat Fees to the City of Grimes as per Chapter 166.13.
2. 166.09.09, the following shall also be attached to and accompany the Final Plat (some of which have already been submitted for review):
  - a. A certificate by the owner that the subdivision is with their free consent and is in accordance with the desire of the owner. This certificate must be signed and acknowledged by the owner and spouse before some officer authorized to that the acknowledgement of deeds.
  - b. A statement from the mortgage holders or lien holders that the plat is prepared with their free consent and in accordance with their desire, signed and acknowledged before an officer authorized to take the acknowledgement of deeds.
  - c. An opinion by an attorney-at-law who has examined the abstract of title of the land being platted. The opinion shall state the names of the proprietors and holders of mortgages, liens or other encumbrances on the land being platted and shall note the encumbrances, along with any bonds securing the encumbrances.
  - d. A resolution and certificate for approval by the Council and signatures of the Mayor and Clerk.
  - e. A certificate of the County Treasurer that the land is free from certified taxes and certified special assessments and that the certified special assessments are secured by bond in compliance with Chapter 354 of the Code of Iowa.
  - f. Please send FOX (John Gade – [jmg@foxeng.com](mailto:jmg@foxeng.com)) and the City Attorney (Erik Fisk - [Fisk@whitfieldlaw.com](mailto:Fisk@whitfieldlaw.com)) a copy of all the proposed easement descriptions. Please DO NOT send original documents. A pdf of the documents via e-mail is the preferred method. Note that the provided easement documents do not contain the exhibit that is referenced in the document that states the legal description of the easement.
3. Utility bonds have been submitted. Please provide a 4-year maintenance bond for all the pavement that will be dedicated to the city. The City Engineer shall review the cost estimates for all improvements to verify the bond amount. Note that the City will not accept the final plat until all improvements (this includes temporary and permanent seeding/stabilization) have been installed unless a performance bond or letter of credit is submitted to the City of Grimes (all Punchlist Items shall be addressed). Prior to the City releasing the resolution, all public improvements shall be completed and accepted by the City.
  - a. The temporary & permanent seeding will not be completed (stabilized), thus a performance bond or letter of credit will be necessary.
  - b. All City invoices shall be paid prior to release of the final plat.

- 
4. Please DO NOT send original copies of the plats to the City of Grimes. The City does NOT require originals to be stamped. The approval of the plat is the signed resolution by City Council. Note that the signed resolution will not be given to the Developer until all items have been addressed.
  5. Once the Final Plat has been accepted by P&Z and Council, the City requires the following:
    - a. Signed PDF
    - b. 1 Mylar - Signed
    - c. Resolution - The City holds the resolution until all legals, comments, and subdivision punchlist have been addressed.
    - d. Filing - The Developer files the plat once the City releases the resolution.
  6. Please submit record drawings of the Construction Plans. These drawings shall be completed within 30 days of the acceptance of the Final Plat. These drawings shall include all public improvements. A digital copy of the Final Plat and Record Drawings is also required.

**FINAL PLAT SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

*Mitch Holtz*

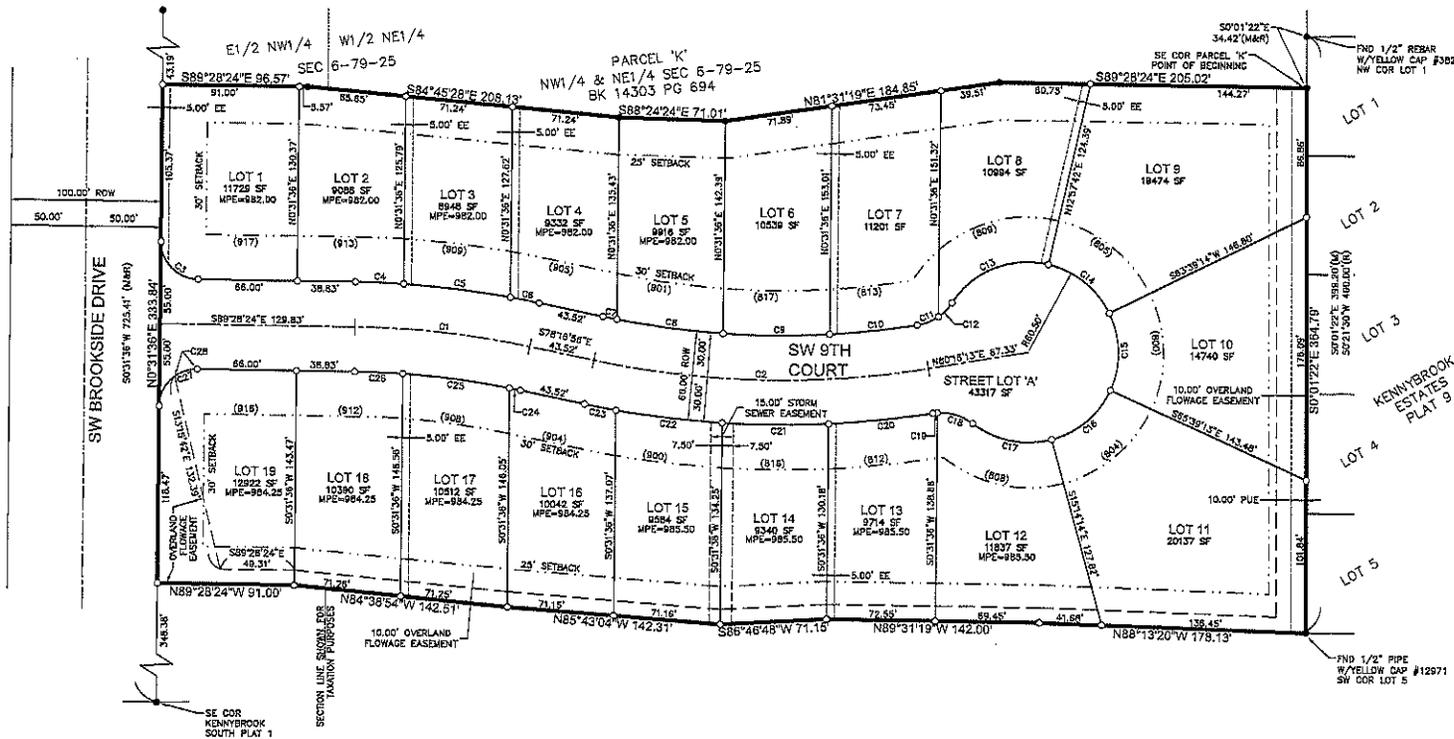
Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes  
Erik Fisk, City Attorney

# KENNYBROOK SOUTH PLAT 3

## CITY OF GRIMES, POLK COUNTY, IOWA

### FINAL PLAT



#### CURVE DATA:

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	111°26'	600.00'	117.10'	S83°52'40"E	117.01'
C2	212°29'31"	600.00'	224.60'	S89°00'22"E	223.28'
C3	90°00'00"	25.00'	38.27'	S44°28'24"E	35.36'
C4	255°38'	630.00'	32.19'	S89°00'35"E	32.18'
C5	62°29'54"	630.00'	71.45'	S83°17'48"E	71.41'
C6	1°45'56"	630.00'	14.41'	S79°08'54"E	14.41'
C7	0°58'30"	570.00'	9.37'	S78°45'11"E	9.37'
C8	7°11'24"	570.00'	71.05'	S82°48'09"E	71.48'
C9	7°08'30"	570.00'	71.05'	S88°59'05"E	71.00'
C10	5°42'58"	570.00'	56.08'	N83°29'10"E	56.83'
C11	23°44'39"	34.50'	15.50'	N87°39'21"E	15.37'
C12	21°44'52"	34.50'	13.10'	N43°34'38"E	13.02'
C13	69°53'32"	60.50'	73.64'	N87°30'58"E	69.34'
C14	50°41'32"	60.50'	53.53'	S51°13'32"E	51.80'
C15	50°41'32"	60.50'	53.53'	S1°00'00"E	51.80'
C16	50°24'59"	60.50'	53.24'	S49°03'16"W	51.53'
C17	52°44'59"	60.50'	55.70'	N78°31'45"W	53.75'
C18	41°39'10"	34.50'	25.08'	N73°18'50"W	24.53'
C19	52°21'11"	34.50'	3.24'	S83°10'00"W	3.24'
C20	62°11'17"	630.00'	69.89'	S83°39'22"W	66.84'
C21	52°73'38"	630.00'	71.04'	N86°56'10"W	71.00'
C22	82°26'47"	630.00'	71.43'	N83°27'27"W	71.39'
C23	135°33'	630.00'	21.19'	N79°14'45"W	21.19'
C24	0°45'46"	570.00'	7.59'	N78°39'48"W	7.59'
C25	7°11'33"	570.00'	71.53'	N82°38'29"W	71.51'
C26	31°40'08"	570.00'	32.19'	N67°31'20"W	32.19'
C27	90°00'00"	25.00'	39.27'	S43°31'38"W	35.36'
C28	39°28'25"	25.00'	15.91'	S72°17'22"W	15.65'

#### LEGEND:

SECTION LINE SHOWN FOR TRANSITION PURPOSES	FOUND	SET
SECTION CORNER AS NOTED	●	△
1/2" REBAR, YELLOW CAP #1747 (UNLESS OTHERWISE NOTED)	▲	○
PLATTED BEARING & DISTANCE	P	M
MEASURED BEARING & DISTANCE	M	R
RECORDED BEARING & DISTANCE	R	D
DEEDED BEARING & DISTANCE	D	MPE
MINIMUM PROTECTION ELEVATION	MPE	P.U.E.
PUBLIC UTILITY EASEMENT	P.U.E.	E.E.
ELECTRIC EASEMENT	E.E.	---
CENTRIAL EASEMENT	---	---
SECTION LINE	---	---
EASEMENT LINE	---	---

#### ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DR, SUITE C  
GRIMES, IOWA 50111

#### OWNER/DEVELOPER:

SILBERT KENNYBROOK LLC  
12119 STRATFORD DRIVE, SUITE B  
CLIVE, IA 50322

#### DATE OF SURVEY:

JULY 3, 2015

#### ZONING:

R2-70

#### BULK REGULATIONS:

STREETBACKS:  
FRONT: 30'  
REAR: 20'  
SIDE YARD 1-1/2 STORY: 7' MIN/14' TOTAL  
SIDE YARD 2-3 STORY: 10' MIN/20' TOTAL

#### PLAT DESCRIPTION:

PART OF THE EAST HALF OF THE NORTHWEST FRACTIONAL QUARTER AND THE WEST HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 6, TOWNSHIP 79, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

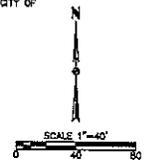
COMMENCING AT THE NORTHWEST CORNER OF LOT 1, KENNYBROOK ESTATES PLAT 9, AN OFFICIAL PLAT IN THE CITY OF GRIMES; THENCE SOUTH 00°01'22" EAST ALONG THE WESTERLY LINE OF SAID KENNYBROOK ESTATES PLAT 9, A DISTANCE OF 34.42 FEET TO THE SOUTHEAST CORNER OF PARCEL 'K' IN SAID WEST HALF OF THE NORTHEAST QUARTER AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 14303 PAGE 694 AND THE POINT OF BEGINNING; THENCE SOUTH 00°01'22" EAST CONTINUING ALONG SAID WESTERLY LINE, 364.79 FEET TO THE SOUTHWEST CORNER OF LOT 5, SAID KENNYBROOK ESTATES PLAT 9; THENCE NORTH 89°13'20" WEST, 176.13 FEET; THENCE NORTH 89°31'19" WEST, 142.00 FEET; THENCE SOUTH 85°46'48" WEST, 71.15 FEET; THENCE NORTH 83°43'04" WEST, 142.31 FEET; THENCE NORTH 84°38'54" WEST, 142.51 FEET; THENCE NORTH 89°28'24" WEST, 61.00 FEET TO THE WEST LINE OF KENNYBROOK SOUTH PLAT 1, AN OFFICIAL PLAT; THENCE NORTH 00°31'38" EAST ALONG SAID WEST LINE, 333.84 FEET TO THE SOUTHERLY LINE OF SAID PARCEL 'K'; THENCE SOUTH 89°28'24" EAST ALONG SAID SOUTHERLY LINE, 95.57 FEET; THENCE SOUTH 84°45'28" EAST ALONG SAID SOUTHERLY LINE, 208.13 FEET; THENCE SOUTH 68°24'24" EAST ALONG SAID SOUTHERLY LINE, 71.01 FEET; THENCE NORTH 81°31'19" EAST ALONG SAID SOUTHERLY LINE, 184.85 FEET; THENCE SOUTH 89°28'24" EAST ALONG SAID SOUTHERLY LINE, 205.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 6.06 ACRES (263,706 SQUARE FEET) THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

#### NOTE

- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFIRM WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- ANY ELEVATIONS SHOWN ON THIS FINAL PLAT WERE PROVIDED BY PROJECT ENGINEER AND ARE NOT CERTIFIED BY THIS SURVEYOR.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- STREET LOT 'A' WILL BE DEDICATED TO THE CITY OF GRIMES FOR STREET RIGHT OF WAY.

#### AREA SUMMARY:

E1/2 NW1/4 = 37,077 SF (0.85 AC)  
W1/2 NE1/4 = 224,670 SF (5.21 AC)  
TOTAL = 261,747 SF (6.06 AC)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS CONDUCTED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED SURVEYOR IN THE STATE OF IOWA UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAT WAS RECORDED ON DECEMBER 31, 2015  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_  
THIS SHEET: \_\_\_\_\_

DATE									
REVISIONS									

ENGINEER:

TECH:

CIVIL DESIGN ADVANTAGE

KENNYBROOK SOUTH PLAT 3

FINAL PLAT

GRIMES, IOWA

3405 S.E. CROSSROADS DRIVE, SUITE C  
GRIMES, IOWA 50111  
PHONE: (515) 389-4400 FAX: (515) 389-4410

1507-376



June 2, 2016

**Mike Lee**

Civil Design Advantage  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111

**Kennybrook South Plat 4 – Final Plat**

*FOX Ref No: 8630-981.294*

FOX Engineering with assistance from David Schneider, PLS, has completed the second review of the Final Plat for Kennybrook South Plat 4. Please address the following comments:

1. If you have not done so, please submit a check for Final Plat Fees to the City of Grimes as per Chapter 166.13.
2. Please provide "To be vacated" with the label on the existence drainage easement to clarify that it will no longer exist. City attorney will review the Easement Vacation Plat and provide comments as necessary.
3. 166.09.09, the following shall also be attached to and accompany the Final Plat (some of which have already been submitted for review):
  - a. A certificate by the owner that the subdivision is with their free consent and is in accordance with the desire of the owner. This certificate must be signed and acknowledged by the owner and spouse before some officer authorized to that the acknowledgement of deeds.
  - b. A statement from the mortgage holders or lien holders that the plat is prepared with their free consent and in accordance with their desire, signed and acknowledged before an officer authorized to take the acknowledgment of deeds.
  - c. An opinion by an attorney-at-law who has examined the abstract of title of the land being platted. The opinion shall state the names of the proprietors and holders of mortgages, liens or other encumbrances on the land being platted and shall note the encumbrances, along with any bonds securing the encumbrances.
  - d. A resolution and certificate for approval by the Council and signatures of the Mayor and Clerk.
  - e. A certificate of the County Treasurer that the land is free from certified taxes and certified special assessments and that the certified special assessments are secured by bond in compliance with Chapter 354 of the Code of Iowa.
  - f. Please send FOX (John Gade – [jmg@foxeng.com](mailto:jmg@foxeng.com)) and the City Attorney (Erik Fisk - [Fisk@whitfieldlaw.com](mailto:Fisk@whitfieldlaw.com)) a copy of all the proposed easement descriptions. Please DO NOT send original documents. A pdf of the documents via e-mail is the preferred method. Note that the provided easement documents do not contain the exhibit that is referenced in the document that states the legal description of the easement.

- 
4. Utility bonds have been submitted. Please provide a 4-year maintenance bond for all the pavement that will be dedicated to the city. The City Engineer shall review the cost estimates for all improvements to verify the bond amount. Note that the City will not accept the final plat until all improvements (this includes temporary and permanent seeding/stabilization) have been installed unless a performance bond or letter of credit is submitted to the City of Grimes (all Punchlist Items shall be addressed). Prior to the City releasing the resolution, all public improvements shall be completed and accepted by the City.
    - a. The temporary & permanent seeding will not be completed (stabilized), thus a performance bond or letter of credit will be necessary.
    - b. All City invoices shall be paid prior to release of the final plat.
  5. Please DO NOT send original copies of the plats to the City of Grimes. The City does NOT require originals to be stamped. The approval of the plat is the signed resolution by City Council. Note that the signed resolution will not be given to the Developer until all items have been addressed.
  6. Once the Final Plat has been accepted by P&Z and Council, the City requires the following:
    - a. Signed PDF
    - b. 1 Mylar - Signed
    - c. Resolution - The City holds the resolution until all legals, comments, and subdivision punchlist have been addressed.
    - d. Filing - The Developer files the plat once the City releases the resolution.
  7. Please submit record drawings of the Construction Plans. These drawings shall be completed within 30 days of the acceptance of the Final Plat. These drawings shall include all public improvements. A digital copy of the Final Plat and Record Drawings is also required.

**FINAL PLAT SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000. The City reserves the right to modify or add to these comments.

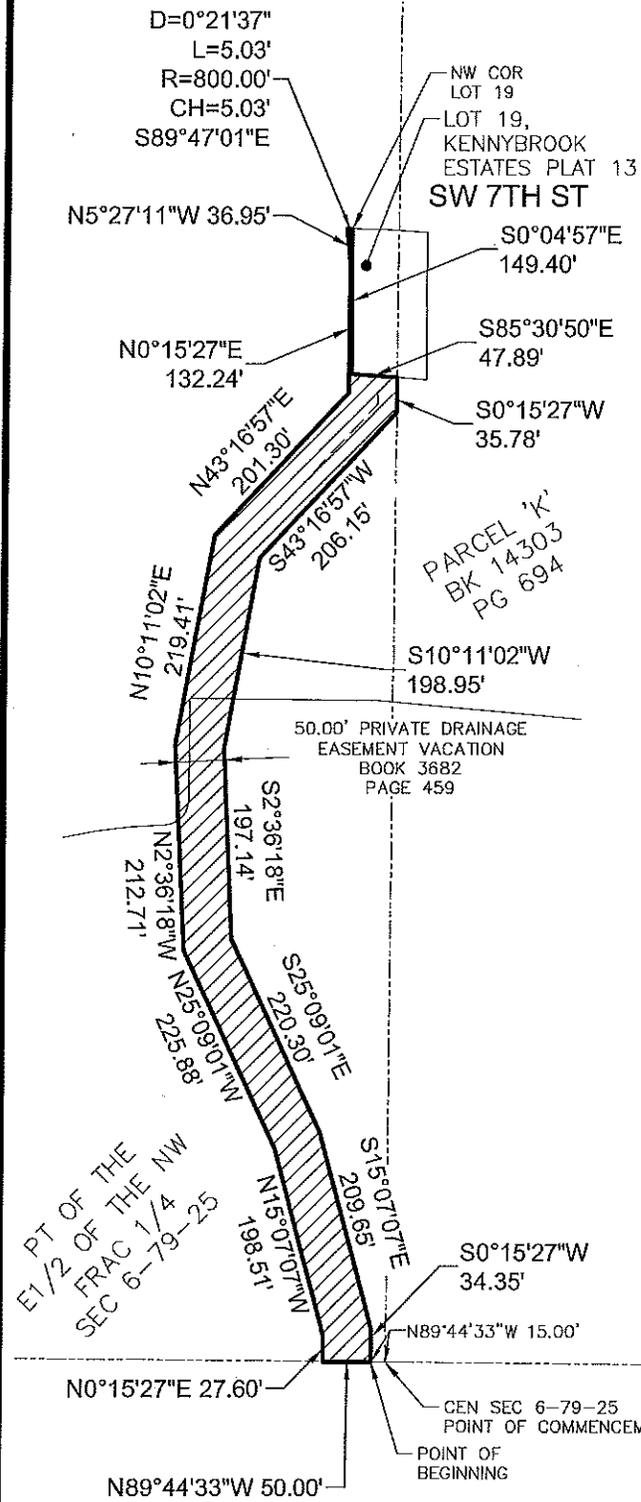
FOX ENGINEERING ASSOCIATES, INC.

*Mitch Holtz*

Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes  
Erik Fisk, City Attorney

**EXHIBIT 'A' - VACATION PLAT**



**OWNER**  
 DILIGENT KENNYBROOK LLC  
 12119 STRATFORD DRIVE, SUITE B  
 CLIVE, IA 50325

**PRIVATE DRAINAGE EASEMENT VACATION DESCRIPTION:**

A PART OF PARCEL 'K' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 14303, PAGE 694, POLK COUNTY, IOWA AND A PART OF THE OF THE EAST HALF OF THE NORTHWEST QUARTER ALL IN SECTION 6, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

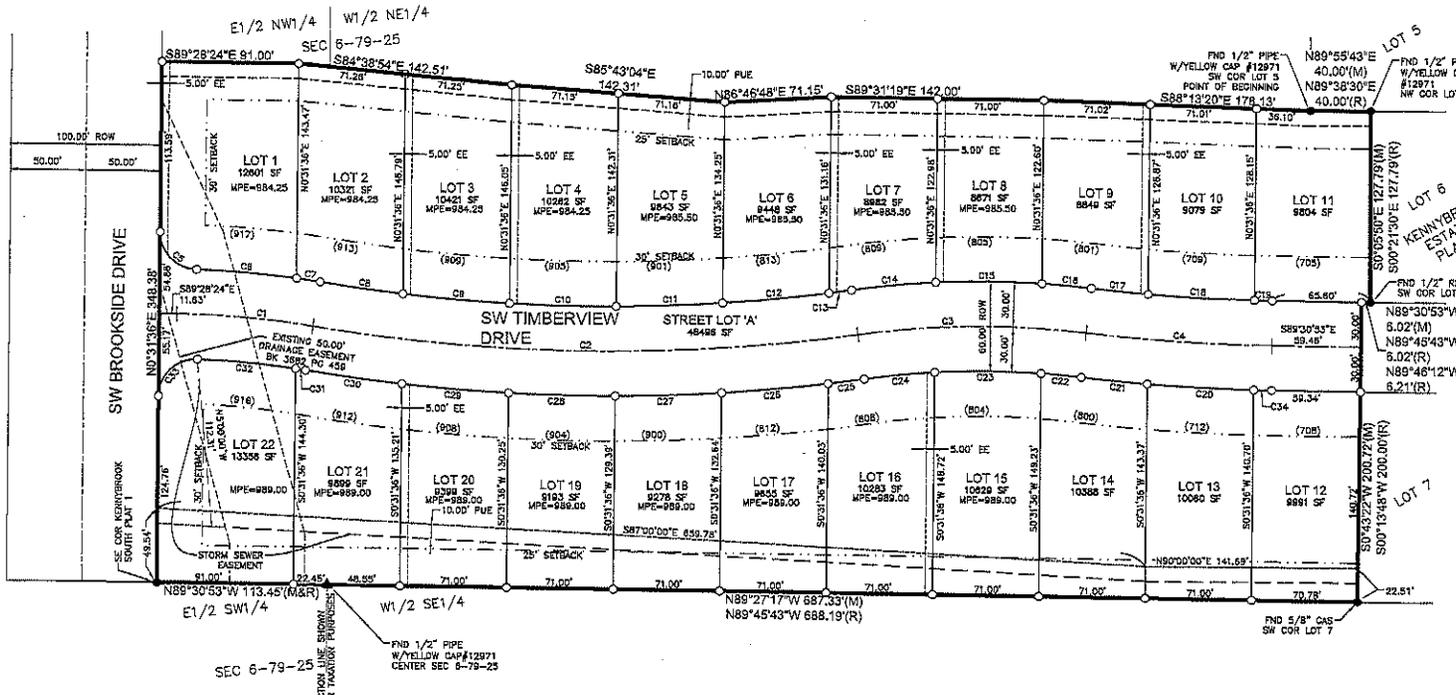
COMMENCING AT THE CENTER OF SAID SECTION 6, THENCE NORTH 89°44'33\"/>



FILE: H:\2015\1502067\DWG\1502067-VACATION PLAT.DWG  
 FILE DATE: 12/10/15 DATE PLOTTED: 12/11/2015 10:23 AM  
 PLOTTED BY: MIKE LEE

# KENNYBROOK SOUTH PLAT 4

CITY OF GRIMES, POLK COUNTY, IOWA  
FINAL PLAT



**CURVE DATA:**

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	8°41'34"	800.00'	91.03'	S89°07'38"E	90.94'
C2	17°24'28"	1200.00'	384.58'	S89°28'05"E	363.18'
C3	14°38'08"	800.00'	152.82'	N89°08'45"E	152.50'
C4	9°55'42"	1200.00'	124.16'	S88°33'02"E	124.11'
C5	88°49'40"	25.00'	38.78'	S43°53'19"E	34.89'
C6	8°42'05"	830.00'	88.72'	S89°18'11"E	86.69'
C7	12°17'18"	630.00'	16.00'	S81°30'30"E	15.00'
C8	2°43'25"	1170.00'	55.82'	S82°06'33"E	55.61'
C9	32°13'13"	1170.00'	71.20'	S88°14'52"E	71.10'
C10	32°48'40"	1170.00'	71.02'	S88°43'49"E	71.01'
C11	32°55'53"	1170.00'	71.09'	N87°47'25"E	71.08'
C12	32°55'53"	1170.00'	71.43'	N84°18'02"E	71.42'
C13	0°44'24"	1170.00'	15.11'	N82°10'35"E	15.11'
C14	5°07'43"	830.00'	56.39'	N88°22'33"E	56.37'
C15	6°17'38"	630.00'	71.04'	S89°48'47"E	71.00'
C16	3°00'47"	830.00'	33.13'	S85°05'34"E	33.13'
C17	1°51'59"	1170.00'	38.11'	S84°31'10"E	38.11'
C18	32°48'40"	1170.00'	71.07'	S87°11'34"E	71.08'
C19	0°44'54"	1170.00'	11.88'	S88°13'22"E	11.88'
C20	37°57'31"	1230.00'	71.08'	N87°18'15"E	71.05'
C21	2°03'47"	1230.00'	44.29'	N84°37'04"E	44.28'
C22	2°42'37"	570.00'	28.94'	N84°36'28"E	28.96'
C23	7°05'30"	570.00'	71.05'	N88°32'02"E	71.00'
C24	4°45'02"	570.00'	47.28'	S84°11'12"E	47.28'
C25	1°07'53"	1230.00'	24.29'	S8222'38"E	24.29'
C26	31°8'32"	1230.00'	71.39'	S84°35'20"E	71.38'
C27	31°8'40"	1230.00'	71.08'	S87°35'28"E	71.07'
C28	31°8'28"	1230.00'	71.02'	N88°45'59"E	71.01'
C29	31°8'57"	1230.00'	71.18'	N88°27'18"E	71.18'
C30	3°00'57"	1230.00'	84.74'	N82°71'19"E	84.73'
C31	0°41'16"	570.00'	6.85'	N81°07'30"E	6.85'
C32	6°35'54"	570.00'	65.64'	N84°48'08"E	65.61'
C33	81°24'21"	25.00'	39.88'	S48°13'48"E	35.79'
C34	0°33'19"	1230.00'	11.92'	N89°41'13"E	11.92'

**ENGINEER/SURVEYOR:**  
CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DR, SUITE G  
GRIMES, IOWA 50111

**OWNER/DEVELOPER:**  
DILIGENT KENNYBROOK LLC  
12119 STRATFORD DRIVE, SUITE B  
CLIVE, IA 50325

**DATE OF SURVEY:**  
JULY 3, 2015

**ZONING:**  
R2-70

**BULK REGULATIONS:**  
FRONT: 30'  
REAR: 25'  
SIDE YARD 1-1/2 STORY: 7' MIN/14' TOTAL  
SIDE YARD 2-3 STORY: 10' MIN/20' TOTAL

**PLAT DESCRIPTION:**  
PART OF THE EAST HALF OF THE NORTHWEST FRACTIONAL QUARTER AND THE WEST HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 6, TOWNSHIP 78 NORTH, RANGE 22 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 5, KENNYBROOK ESTATES PLAT 9, AN OFFICIAL PLAT IN THE CITY OF GRIMES; THENCE NORTH 88°50'40" EAST ALONG THE WESTERLY LINE OF SAID KENNYBROOK ESTATES PLAT 9, A DISTANCE OF 40.00 FEET TO THE NORTHWEST CORNER OF LOT 6, SAID KENNYBROOK ESTATES PLAT 9; THENCE SOUTH 00°55'50" EAST CONTINUING ALONG SAID WESTERLY LINE, 127.78 FEET TO THE SOUTHWEST CORNER OF LOT 6, SAID KENNYBROOK ESTATES PLAT 9; THENCE NORTH 89°30'55" WEST CONTINUING ALONG SAID WESTERLY LINE, 6.02 FEET; THENCE SOUTH 00°47'22" WEST CONTINUING ALONG SAID WESTERLY LINE, 200.72 FEET TO THE SOUTHWEST CORNER OF LOT 7, SAID KENNYBROOK ESTATES PLAT 9; THENCE NORTH 88°27'17" WEST ALONG THE SOUTH LINE OF THE NORTHWEST FRACTIONAL QUARTER AND THE NORTHEAST FRACTIONAL QUARTER OF SAID SECTION 6, A DISTANCE OF 687.33 FEET TO THE CENTER OF SAID SECTION 6, TOWNSHIP 78 NORTH, RANGE 22 WEST; THENCE NORTH 89°00'53" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL QUARTER, A DISTANCE OF 113.45 FEET TO THE SOUTHEAST CORNER OF KENNYBROOK SOUTH PLAT 1, AN OFFICIAL PLAT; THENCE NORTH 00°31'38" EAST ALONG THE EAST LINE OF SAID KENNYBROOK SOUTH PLAT 1, A DISTANCE OF 348.28 FEET; THENCE SOUTH 89°28'24" EAST, 91.00 FEET; THENCE SOUTH 84°05'54" EAST, 142.81 FEET; THENCE SOUTH 86°30'19" EAST, 142.00 FEET; THENCE SOUTH 88°32'00" EAST, 178.13 FEET TO THE POINT OF BEGINNING AND CONTAINING 6.17 ACRES (268,910 SQUARE FEET) THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**NOTE**

- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY, PRIOR TO CONSTRUCTION OF ANY SIDEWALKS REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONSULT WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- ANY ELEVATIONS SHOWN ON THIS PLAT WERE PROVIDED BY PROJECT ENGINEER AND ARE NOT CERTIFIED BY THIS SURVEYOR.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- STREET LOT 'A' WILL BE DEDICATED TO THE CITY OF GRIMES FOR STREET RIGHT OF WAY.

**AREA SUMMARY:**  
E1/2 NW1/4 = 32,215 SF (0.80 AC)  
W1/2 NE1/4 = 228,615 SF (5.27 AC)  
TOTAL = 260,830 SF (6.17 AC)



1 HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS EXAMINED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT ALL DATA HEREON ARE THE RESULT OF MY FIELD AND OFFICE WORK UNDER THE LAWS AND ETHICS OF THE PROFESSION.

**PRELIMINARY FOR CONSTRUCTION**

DATE: \_\_\_\_\_  
1508-493

**REVISIONS**

NO.	DATE	DESCRIPTION
1		

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 388-4400 FAX: (515) 388-4410

TECH: \_\_\_\_\_  
ENGINEER: \_\_\_\_\_

**CIVIL DESIGN ADVANTAGE**

**KENNYBROOK SOUTH PLAT 4**  
FINAL PLAT

1508-493



June 2, 2016

**Att: Scott Maier**

Kimley-Horn Associates, Inc.  
200 South Executive Drive, Suite 101  
Brookfield, WI 53005

**AutoZone Store No. 4384 – Site Plan**

FOX Ref No: 8630-04C.281

FOX Engineering and the City of Grimes have completed the second review for the AutoZone Store No. 4384 Site Plan, dated April 27, 2016. Please address the following comments:

**General Comments:**

1. The fire chief has reviewed the site plan and has no comments.
2. Please provide a date and signature (once approval has been obtained).

**Site Plan – Sheet C1.0**

3. Please provide documentation from the Owner of Lot 4 that paving can occur on this lot. Please provide ingress/egress documentation that this drive aisle will be shared.

**Water and Sewer Plan – Sheet C1.2**

4. Note "S4": Revise this note as it references "Existing Water Service".

**Erosion Control Plan – Sheet C1.3**

5. This site will require coverage under the NPDES General Permit #2.
6. Please submit a City of Grimes Grading/Certification for Development form (attached).

**Building Elevations – Sheet PS2 & CE1:**

7. The building elevations meet the Transportation Overlay District and HWY 141 Zone 1 requirements. It is highly recommended that you bring building materials to P&Z for discussion.

**Stormwater Management Plan**

8. FOX has yet to review the stormwater management plan. Comments will be submitted soon.

**SITE PLAN SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes



# AutoZone Store Development Final Engineering Plans Submission

for:

## AutoZone Store No. 4384 2030 E. 1ST STREET GRIMES, IA 50111

### UTILITY AND GOVERNING AGENCY CONTACTS

**PUBLIC WORKS (WATER AND SEWER)**  
CITY OF GRIMES  
101 NE HARVEY STREET  
GRIMES, IA 50111  
TEL: (515) 986-3036  
CONTACT: DAVE SIGLER

**PLANNING AND ZONING**  
CITY OF GRIMES PLANNING AND ZONING COMMISSION  
101 NE HARVEY STREET  
GRIMES, IA 50111  
TEL: (515) 986-3036  
CONTACT: SCOTT OLYCE

**POWER COMPANY**  
MID AMERICAN ENERGY  
4858 NE 17TH CT.  
DES MOINES, IA 50313  
TEL: (888) 427-5632

**NATURAL GAS COMPANY**  
BLACK HILLS ENERGY  
1205 SW 37TH STREET  
GRIMES, IA 50111  
TEL: (868) 890-5554

**TELEPHONE**  
CENTURY LINK  
7420 DOUGLAS AVENUE  
URBANDALE, IA 50322  
TEL: (868) 642-0444

**CABLE T.V.**  
MEDIACOM  
400 SE GATEWAY DR.  
GRIMES, IA 50111  
TEL: (800) 332-0245

### PROJECT TEAM

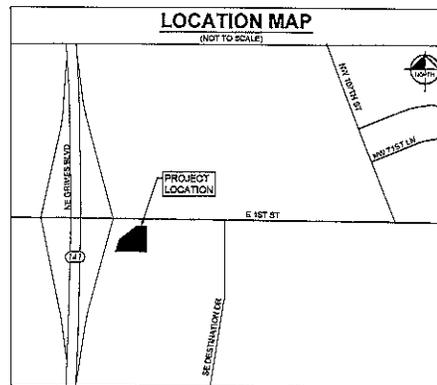
**APPLICANT**  
AUTOZONE, INC.  
123 S. FRONT STREET, 3RD FLOOR  
MEMPHIS, TENNESSEE 38103  
TEL: (901) 495-8714  
CONTACT: MITCH BRAMLITT

**OWNER** CHW LLC  
5000 WESTTOWN PKWY  
SUITE 400  
WEST DES MOINES, IA 50266  
TEL: (515) 277-4000  
CONTACT: RON DANIELS

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
1001 WARRENVILLE RD, STE 350  
LISLE, IL 60532  
TEL: (630) 487-5550  
CONTACT: KEITH DEMCHINSKI

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
200 SOUTH EXECUTIVE DRIVE, SUITE 101  
BROOKFIELD, IL 63005  
TEL: (202) 789-0714  
CONTACT: SCOTT MAIER

**SURVEYOR**  
LANDMARK ENGINEERING GROUP  
455 AVENUE OF THE CITIES  
EAST MOULNE, IL 61244  
TEL: (309) 755-3400  
CONTACT: GERALD L. MOUGHLER P.L.S.



Sheet Number	Sheet Title
C0.0	TITLE SHEET
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.B	DRY UTILITY PLAN
C1.1	GRADING AND DRAINAGE PLAN
C1.2	WATER AND SEWER PLAN
C1.3	EROSION CONTROL PLAN
C1.4	EROSION CONTROL DETAILS
C1.5	CONSTRUCTION DETAILS
C1.6	CONSTRUCTION DETAILS
C1.7	GENERAL NOTES
D1.0	DEMOLITION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS AND NOTES
V0.0	SITE SURVEY (BY OTHERS)
PS1	BUILDING FOOTPRINT
PS2	BUILDING ELEVATIONS
CE1	BUILDING ELEVATIONS
PH1	PHOTOMETRIC PLAN
PH2	PHOTOMETRIC PLAN

### ANTICIPATED CONSTRUCTION SCHEDULE

CONSTRUCTION IS ANTICIPATED TO BEGIN IN JULY, 2016, AND HAVE A FOUR MONTH CONSTRUCTION TIMEFRAME. OPERATIONS WILL COMMENCE AS SOON AS CONSTRUCTION IS COMPLETE.

### LEGAL DESCRIPTION

LOT 5 WAL-MART'S SECOND ADDITION, A FINAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF GRIMES, IN PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION FOUR, TOWNSHIP SEVENTY-NINE NORTH, RANGE TWENTY-FIVE WEST OF THE 5TH P.M., POLK COUNTY, IOWA AS APPEARS IN BOOK 13209, PAGE 223 IN THE OFFICE OF THE RECORDER OF POLK COUNTY, IOWA.

### BENCHMARKS

**SITE BENCHMARKS:**  
(LOCATIONS SHOWN ON SURVEY)

BENCHMARK 1 - CUT "X" ON METAL UTILITY POLE  
CONCRETE BASE. ELEVATION = 979.15

BENCHMARK 2 - CUT "X" ON SIDEWALK.  
ELEVATION = 81.58

NATIONAL GEODETIC VERTICAL DATUM OF 1988  
(NAVD 88) STATE PLANE, SOUTHERN ZONE 1402.  
BASED ON IOWA REAL-TIME NETWORK

### PROFESSIONAL ENGINEER'S CERTIFICATION

I, \_\_\_\_\_, A LICENSED PROFESSIONAL ENGINEER OF IOWA, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF AUTOZONE, INC. BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2016.

IOWA LICENSED PROFESSIONAL ENGINEER # \_\_\_\_\_  
MY LICENSE EXPIRES ON \_\_\_\_\_

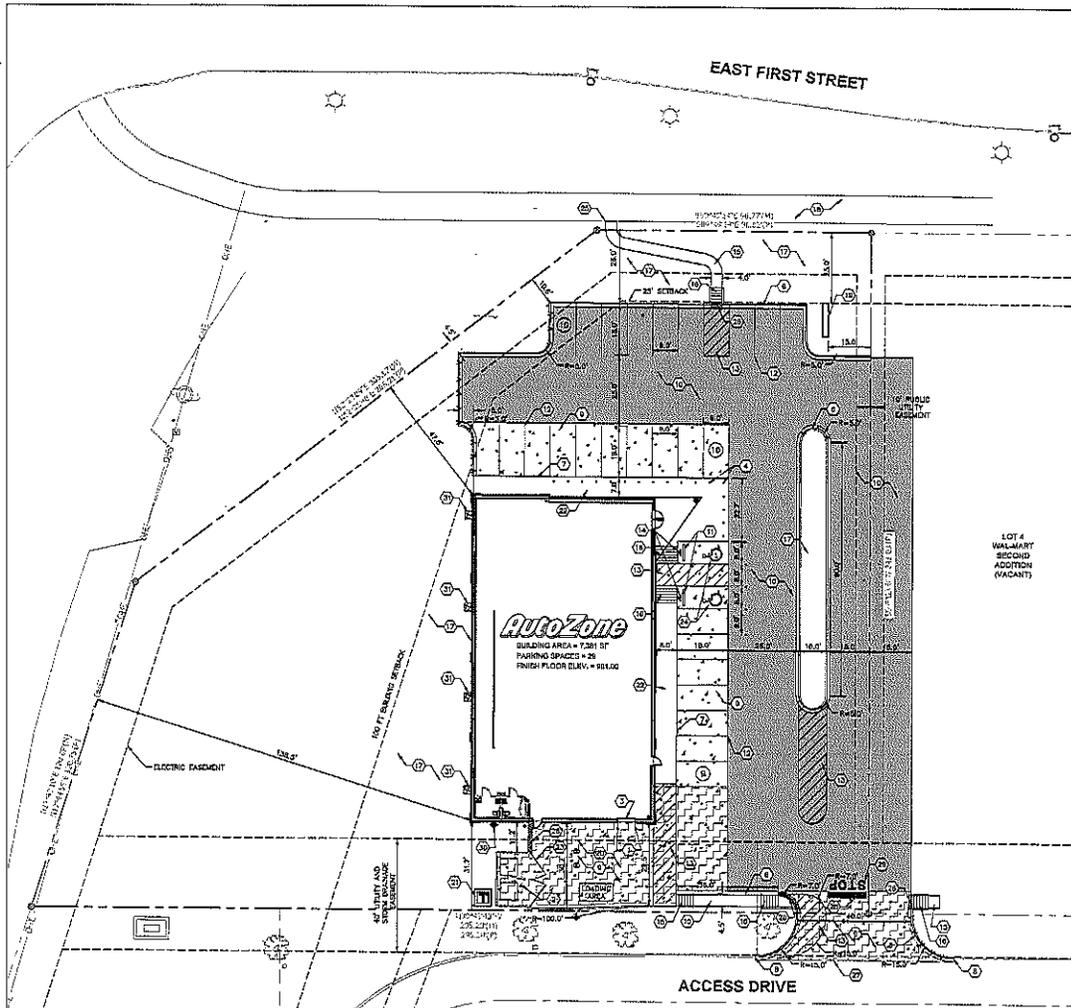
AUTOZONE, INC  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: (901) 495-8714 FAX: (901) 495-8424

AutoZone STORE DEVELOPMENT  
Store No. 4384  
GRIMES IA 50111  
TITLE SHEET

REVISIONS  
1. 06/07/16  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
SCALE: SEE PLAN

Kimley-Horn  
DATE  
04-27-2016  
PROTOTYPE SIZE  
7N2

C0.0



- ### KEYNOTES
- ① PIPE GUARD - SEE DETAIL 18 / C/A
  - ② BUMPER LAYOUT - SEE DETAILS 8, 9, 10, 11 / C/A
  - ③ SERVICE DOOR PLAN - SEE DETAIL 16 / C/A
  - ④ BOLLARD PLAN - SEE DETAIL 14, 16 / C/A
  - ⑤ CONCRETE LIGHT POLE BASE - SEE DETAIL 13 / C/A  
LIGHT POLE BASE LOCATIONS SHOWN FOR REFERENCE ONLY  
SEE PHOTOGRAPHIC PLAN FOR FURTHER DETAIL
  - ⑥ CURB AND GUTTER ADJACENT TO ASPHALT PAVEMENT - SEE SHEET 013
  - ⑦ INTERNAL CURB - SEE DETAIL 30 / C/A
  - ⑧ NEW CURB OUT AND APPROACH
  - ⑨ CONCRETE PAVING - SEE DETAIL 4 / C/A. EXPANSION AND CONTROL JOINTS -  
SEE DETAILS 21 & 22 / C/A. MAXIMUM SPACING FOR CONTROL JOINTS IS 12'  
O.C. EACH WAY.
  - ⑩ ASPHALT PAVING - SEE DETAIL 5 / C/A
  - ⑪ 8"FT. LOAD CONCRETE WHEEL STOP PAVED TO PAVEMENT (TYP). LOCATE 3'-6"  
FROM FACE OF CURB OR SIDEWALK - SEE DETAIL 17 / C/A
  - ⑫ 4" WIDE PARKING STRIPS PAINTED WHITE (TYP)
  - ⑬ 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2' O.C.
  - ⑭ ACCESSIBLE PARKING SIGN - SEE DETAIL 12 / C/A
  - ⑮ CONCRETE SIDEWALK - SEE DETAIL 19 & 22 / C/A FOR SIDEWALKS AROUND  
BUILDING
  - ⑯ ACCESSIBLE RAMP - SEE DETAILS 24 / C/A & C/A  
MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2%)
  - ⑰ NEW LANDSCAPE AREA - SEE SHEET 11.0 FOR INFORMATION
  - ⑱ EXISTING SIDEWALK
  - ⑲ PROPOSED DRAINAGE - SEE DRAINAGE PLAN FOR MORE DETAIL
  - ⑳ LANDSCAPE AREAL. SLOPE AT MAX 2.0% AWAY FROM BUILDING
  - ㉑ TRANSFORMER PAD
  - ㉒ CONCRETE SIDEWALK AT BUILDING - SEE DETAIL 20 / C/A
  - ㉓ GATE FOR BUMPER COLLUSURE - SEE DETAIL 10 AND 11 / C/A
  - ㉔ TYPICAL PAINTED ACCESSIBLE PARKING SPACE - SEE DETAIL 7 / C/A
  - ㉕ CONNECT TO EXISTING SIDEWALK/CURB-MATCH EXISTING GRADE
  - ㉖ CONCRETE DEPRESSION CURB AND GUTTER - SEE DETAIL SHEET 013
  - ㉗ SAWCUT LINE
  - ㉘ 24" WIDE STRIPE PAINTED LINE
  - ㉙ PAINTED STOP
  - ㉚ FREEZELESS YARD HYDRANT
  - ㉛ ROOF DRAIN SPLASH BLOCK

- ### GENERAL NOTES
1. PROOF BELL BUILDING AND ALL PARKING AREAS. NOTIFY ARCHITECT OF ALL UNACCEPTABLE AREAS.
  2. EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
  3. ALL SIDEWALK, CURB AND GUTTER, STREET PAVING, CURB CURB, DRIVEWAY APPROACHES, ACCESSIBLE RAMP, ETC. CONSTRUCTED SUBJECT THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
  4. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND REPLACE ALL DAMAGE DONE BY EXISTING ELEMENTS (SIDEWALK, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNERS AND/OR ENGINEERING AUTHORITY.
  5. FOR PROPOSED UTILITY LOCATIONS, SEE UTILITY PLAN.
  6. ALL DIVISIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  7. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO GRADING MATERIALS AND STARTING WORK, AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  8. CONTRACTOR SHALL DESIGN CLEAN JOINTS AND PROTECT PAVEMENT WHEREVER PROPOSED PAVEMENT MATCHES EXISTING PAVEMENT.
  9. THREE (3) DIBLED AND GRATED NO. 5 EXPANSION BARS OR EXPANSION ANCHORS, 16" IN DIAMETER, SHALL BE USED TO JOIN THE NEW CURB AND GUTTER TO THE EXISTING CURB AND GUTTER ON EACH SIDE.
  10. RAMP ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
  11. REFER TO ARCHITECTURAL PLANS FOR SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
  12. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  13. IF RELOCATION OR CONSTRUCTION OF SIGN WELL INTERFERES WITH ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDEALLY-APPROVED TRAFFIC BARRICADES, BARRIERS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY ALSO BE NECESSARY.
  14. ANY CHANGES TO EXISTING DRIVE ORDINANCES TO BE REVIEWED AND APPROVED BY CITY OF MEMPHIS, DRIVEWAY OPENING PERMIT IS REQUIRED. DRIVEWAY SHALL BE CONSTRUCTED TO CITY STANDARDS.
  15. ALL SIGNAGE REQUIRES INDIVIDUAL CITY OF MEMPHIS SIGN PERMITS.
  16. ALL LOT PILING SHALL BE LOCKED AND VISIBLE PRIOR TO CONSTRUCTION.
  17. OWNER/DEVELOPER MUST OBTAIN ALL FEES AND HAVE ALL PLANS REVIEWED AND APPROVED BY THE CITY PRIOR TO OBTAINING A BUILDING PERMIT.
  18. OWNER/DEVELOPER MUST MAKE ALL CONDITIONS STATED AND IMPROVEMENTS INSTALLED PER APPROVED PLANS PRIOR TO THE OCCUPANCY OF THE OCCUPANCY PERMITS.
  19. ALL CONDITIONS RUN WITH THE LAND AND ARE BINDING UPON THE ORIGINAL DEVELOPER AND ALL HEIRS, SUCCESSORS AND ASSIGNS. THE SALE OR TRANSFER OF ALL OR ANY PORTION OF THE PROPERTY DOES NOT RELIEVE THE ORIGINAL DEVELOPER FROM PAYMENT OF ANY FEES IMPOSED OR FROM MEETING ANY OTHER CONDITIONS.

### DATA SUMMARY

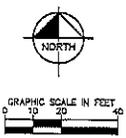
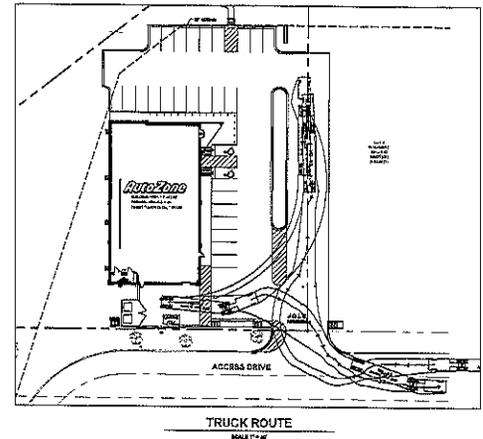
ZONING DESIGNATION	= C2 - GENERAL BUSINESS WITH HOUSING 141 OVERLAY DISTRICT
SITE AREA	= 54,305 (1.26 AC)
BUILDING HEIGHT	= 35 FT (30' MAX. ALLOWED)
TOTAL BUILDING AREA	= 7,381 S.F. (0.17% OF (OUTSIDE OF WALL))
EXISTING IMPERVIOUS AREA	= 0 SF
EXISTING PERVIOUS AREA (PAVING, DRIVE & WALKS)	= 54,305 SF (1.25 AC) (100%)
PROPOSED IMPERVIOUS AREA (PAVING, DRIVE & WALKS)	= 52,814 SF (1.20 AC)
PROPOSED PERVIOUS (LANDSCAPE) AREA	= 2,681 SF (0.60 AC) (24.1%)
BUILDING SETBACK REQUIREMENTS	10' FROM HIGHWAY 141
	25' FROM PUBLIC ROW AND PARCEL BOUNDARY

### PAVING AND CURB LEGEND

	ASPHALT PAVING (SEE DETAIL 5 / C/A)
	CONCRETE PAVEMENT - LIGHT DUTY (SEE DETAIL 4 / C/A)
	CONCRETE PAVEMENT - HEAVY DUTY (SEE DETAIL 4 / C/A)
	CONCRETE SIDEWALK (SEE DETAIL 19 / C/A)
	CONCRETE CURB AND GUTTER
	REVERSE PITCH CONCRETE CURB AND GUTTER
	DEPRESSED CURB AND GUTTER
	NUMBER OF PARKING STALLS IN ROW PROPERTY LINE

### PARKING SUMMARY

REQUIRED PARKING SPACES	= 18
LENGHT OF NET FLOOR AREA	= 23
PROPOSED PARKING SPACES	= 26
REQUIRED ACCESSIBLE SPACES	= 2
PROPOSED ACCESSIBLE SPACES	= 2
TOTAL PARKING SPACES PROVIDED	= 28
PROPOSED PARKING RATIO	= 3.8 SPACES/1000 SF



**AUTOZONE, INC**

**123 South Front Street, 3rd Floor**  
**Memphis, Tennessee 38103**  
TEL: (901)495-8714 FAX: (901)495-8424

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**AUTOZONE STORE DEVELOPMENT**

Prepared For: **AutoZone** Store No. 4384  
 For: **GRIMES** 50111 IA

**SITE PLAN**

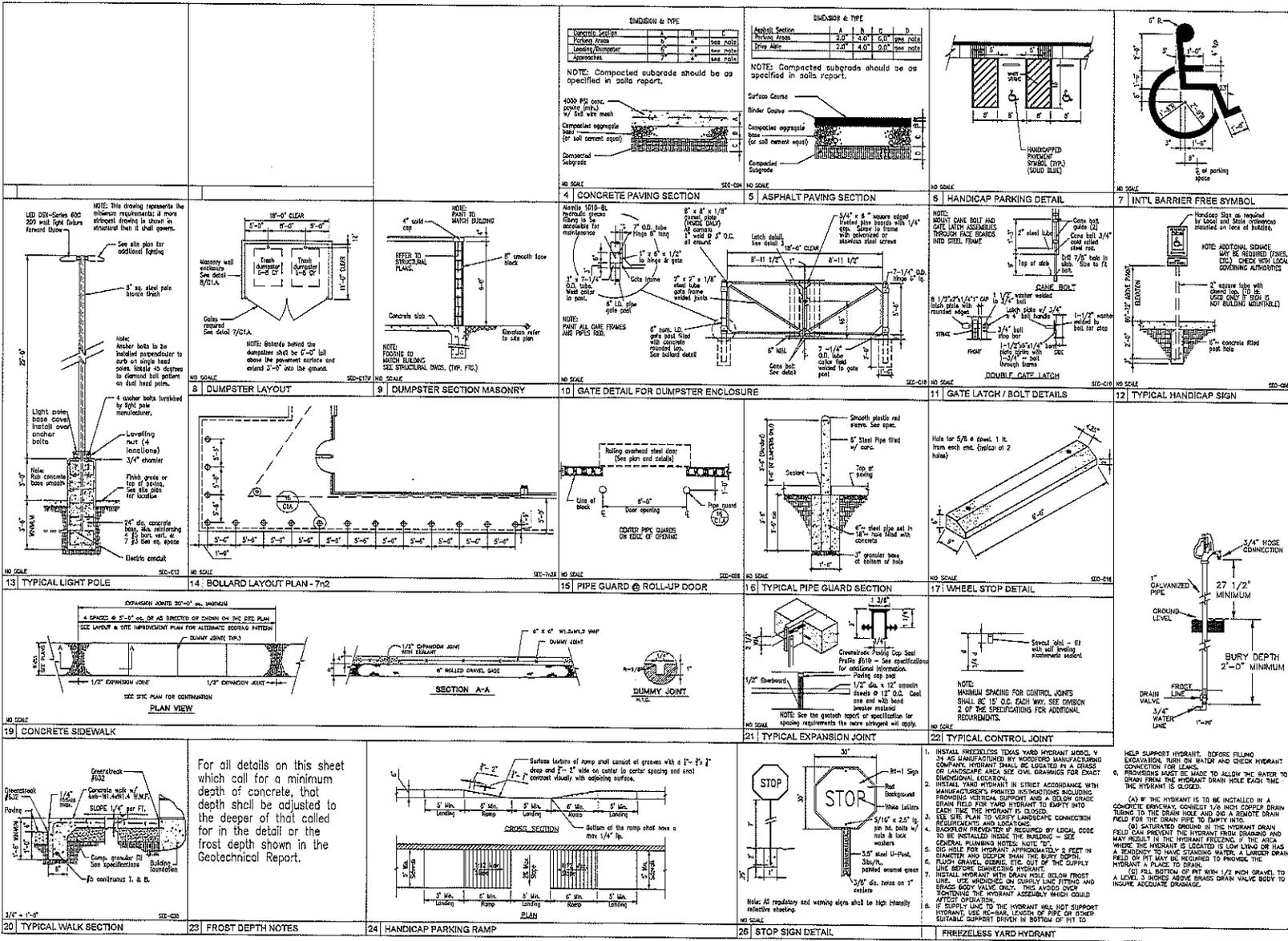
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REVISIONS  
 1. 09/07/16  
 2.  
 3.  
 4.  
 SCALE: SEE PLAN

**Kimley-Horn**  
 1875 WENTWORTH ROAD  
 SUITE 100  
 MEMPHIS, TN 38117  
 TEL: (901) 521-1000

DATE: 04-27-2016  
 PROTOTYPE SIZE: 7N2

**C1.0**

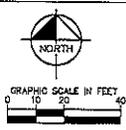
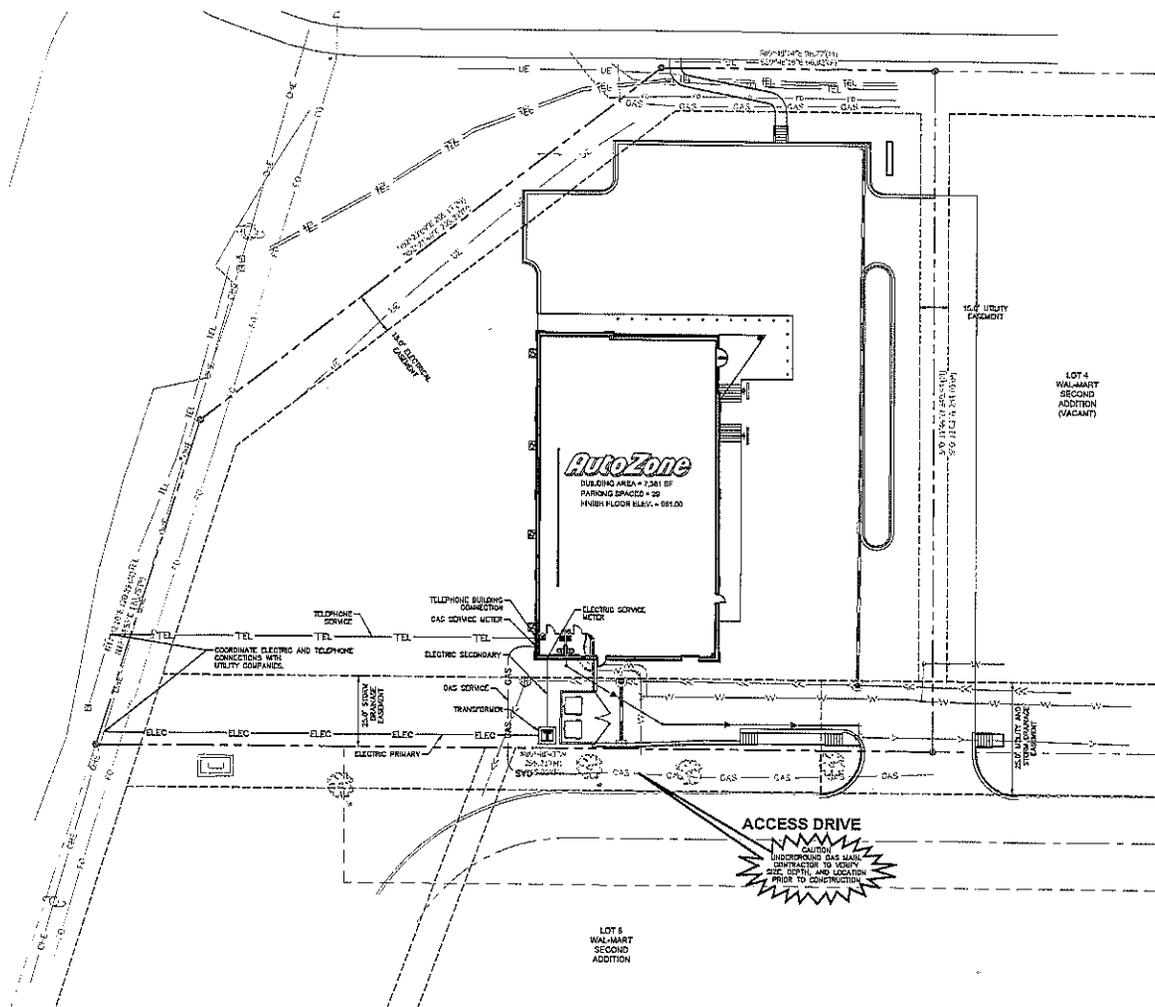


**AUTOZONE, INC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 TEL: (901)495-8714 FAX: (901)495-8424

**AutoZone STORE DEVELOPMENT**  
 Store No. 4384  
 50111  
 IA  
**GRIMES**  
 SITE DETAILS

Prepared For: **Kimley-Horn**  
 DATE: 04-27-2016  
 PROTOTYPE SIZE: 7N2  
**C1.A**

REVISIONS  
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### UTILITY LEGEND

	DC WATER LINE
	EX HYDRANT
	DC WATER VALVE
	DC MANHOLE
	DC CLEANOUT
	DC STORM DRAIN LINE
	DC SANITARY SEWER LINE
	DC GAS LINE
	DC UNDERGROUND ELECTRIC LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEMAH R-2502) (SMA5 USE NEMAH R-2502-B BEDDING)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEMAH R-1772) (SMA5 USE NEMAH R-1782)
	PROPOSED OPEN LID CURB STRUCTURE (DRAIN GAS USE NEMAH R-2201-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (BY OTHERS)

- ### NOTES
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - UNDERGROUND UTILITY INFORMATION IS BASED ON SURVEY DOCUMENTS PREPARED BY LAURENCE ENGINEERING GROUP. ALL INFORMATION AND AVAILABLE INFORMATION PROVIDED. THE THE CONTRACTOR SHALL CALL 811 OR CALL AT (660) 262-3888 TO DETERMINE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE, SIZE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.
  - AUTOZONE TO REQUISITE GENERAL CONTRACTOR FOR ALL SANITARY SEWER, GAS AND WATER MAIN TAP FEES.
  - FOR ALL UTILITY CONTACT INFORMATION, REFER TO BILL SHEET.
  - SITE MUST BE PLUS OR MINUS GRADE AT 2 INCHES PRIOR TO THE START OF ELECTRICAL INSTALLATION.
  - ALL EQUIPMENT ON SITE MUST REMAIN 30 FT FROM THE OVERHEAD ELECTRIC LINES.
  - POST BARS ARE REQUIRED ON ALL DUCTILE IRON WATER MAIN PIPE.

**ELECTRICAL SERVICE UNDERGROUND**  
 CONTRACTOR TO PROVIDE AND INSTALL 3/4" CONDUIT AND SERVICE LINE FROM METER LOCATION AT BUILDING TO THE TRANSFORMER LOCATED NORTH OF BUILDING. POWER COMPANY TO CONNECT SERVICE AT THE TRANSFORMER LOCATION.

**GAS SERVICE**  
 GAS COMPANY TO PROVIDE AND INSTALL THE METER AND SET METER PER THE LOCATION SHOWN ON THE SITE PLAN. CONTRACTOR TO INSTALL GAS SERVICE FROM 1/2" HDG LINED TO METER.

**TELEPHONE SERVICE**  
 GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 2" - PVC CONDUIT WITH PULL COORD FROM PHONE BOARD TO THE SOUTH PROPERTY LINE AND STAY IT.

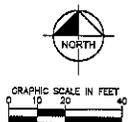
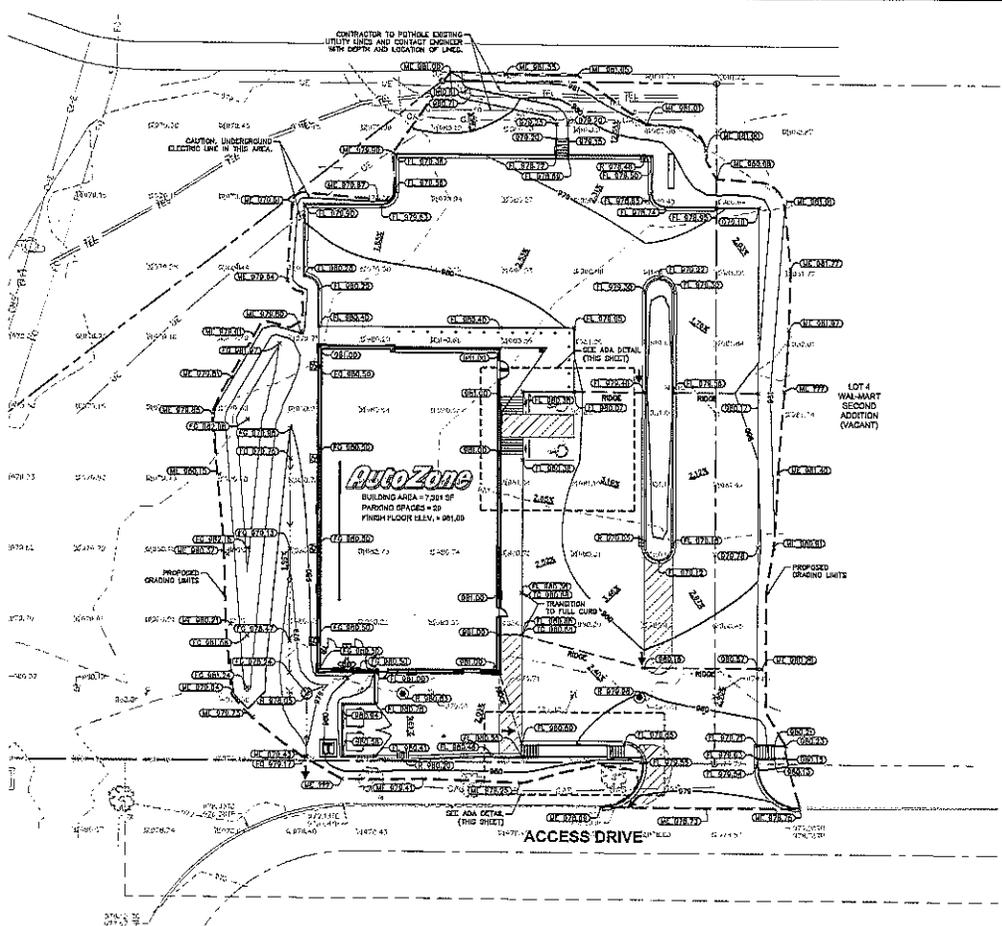
**AUTOZONE, INC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 TEL: (901)495-8714 FAX: (901)495-8424

Prepared **AutoZone** STORE DEVELOPMENT  
 For: Store No. 4384  
 GRIMES IA 50111  
 DRY UTILITY PLAN

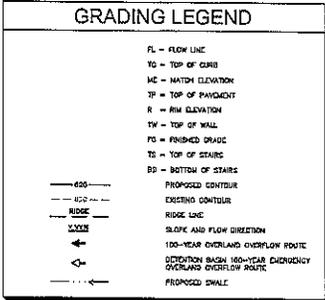
REVISIONS	DATE	SCALE
1	07/07/16	SEE PLAN
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**Kimley»Horn**  
 401 WASHINGTON BLVD  
 SUITE 400  
 MEMPHIS, TN 38102  
 DATE  
 04-27-2016  
 PROTOTYPE SIZE  
 7N2

**C1.B**



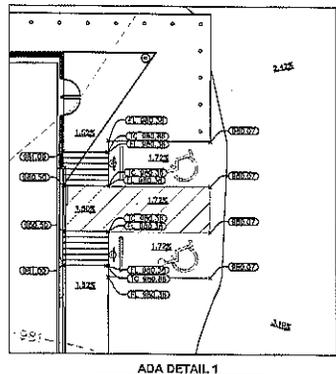
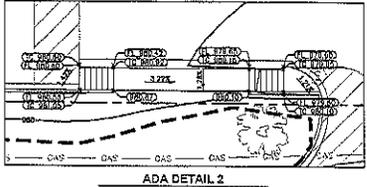
- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURBS AND GUTTER REFER TO FINISH LINE ELEVATIONS UNLESS OTHERWISE NOTED.
  - ALL ELEVATIONS SHOWN REFLECT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO SUBMIT WITH DRAINAGE, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL REQUIREMENTS FOR LANDSCAPE AREAS AND PAVEMENT SYSTEM THICKNESS FOR PAVED AREAS TO PROPERLY ENGINEER APPROPRIATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
  - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LEADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
  - MAXIMUM EXISTING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
  - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE CURB CUT PITCH.
  - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.



### DRAINAGE SUMMARY

EVENT	RAINFALL (INCHES) (24-HR)	RUNOFF (CFS)
24-HR	2.91	2.65
5-YR	3.58	3.23
10-YR	4.27	3.97
100-YR	6.61	6.46

\* COMPOSITE CURVE NUMBER (CN) = 89  
 \*\* TIME OF CONCENTRATION (T<sub>c</sub>) = 5 MIN.  
 † ALLOWABLE RUNOFF WITHOUT RETENTION REQUIRED IS 10.90 CFS PER SQUARE FOOT, PLAIN RECORDED 8/79/2000.



**AUTOZONE, INC**

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Memphis, Tennessee 38103  
TEL: (901)495-8714 FAX: (901) 495-8424

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Prepared For: **AutoZone STORE DEVELOPMENT**  
Store No. 4384

For: GRIMES IA 50111

**GRADING AND DRAINAGE PLAN**

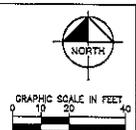
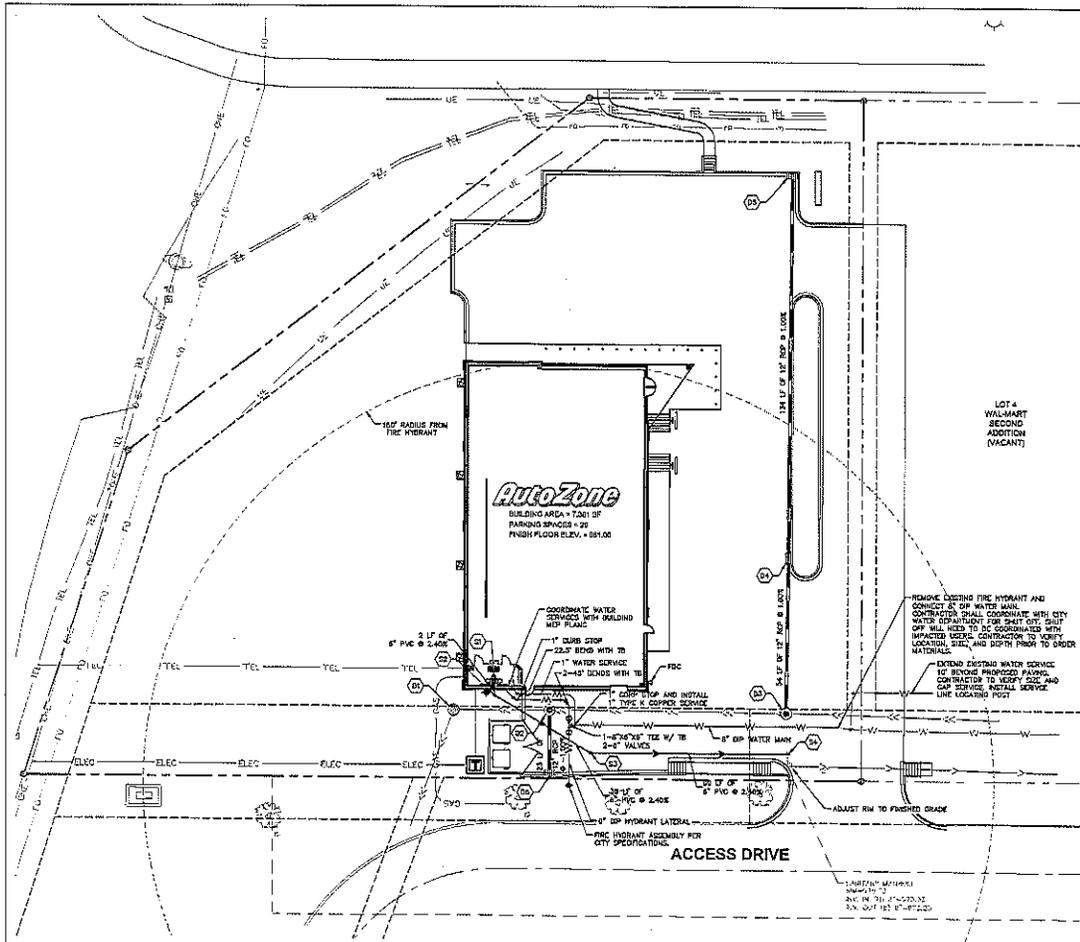
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REVISIONS  
1. 03/07/16  
2.  
3.  
4.  
SCALE: SEE PLAN

**Kimley-Horn**  
1811 W. WOODLAND BLVD  
MEMPHIS, TN 38114  
(901) 521-1100

DATE: 04-27-2016  
 PROTOTYPE SIZE: 7N2

# C1.1



### UTILITY LEGEND

	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. MANHOLE
	EX. CLEANOUT
	EX. STORM DRAIN LINE
	EX. SANITARY SEWER LINE
	EX. GAS LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEDMHI R-2523) (GRADE USE NEDMHI R-144-1) (RESISTIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEDMHI R-1772) (GRADE USE NEDMHI R-1783)
	PROPOSED OPEN LID CURB STRUCTURE (0.612 CAG USE NEDMHI R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED WATER BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (BY OTHERS)

### STORM STRUCTURE TABLE

STRUCTURE NO.	DETAILS
01	CONTRACTOR TO RECONSTRUCT MANHOLE AND REPLACE WITH OPEN GRADED RIM RIM: 075.00 INV IN: 064.40 (C) INV OUT: 066.30 (C)
02	4" DIA. MANHOLE WITH CLOSED RIM RIM: 070.28 INV IN: 070.71 (C) INV IN: 061.37 (C) INV OUT: 062.27 (C)
03	4" DIA. MANHOLE WITH CLOSED RIM, CONTRACTOR TO VERIFY SIZE, DEPTH, AND LOCATION, PRIOR TO GRADING MATERIALS. RIM: 075.88 INV IN: 073.26 (N) INV IN: 068.90 (C) INV OUT: 066.00 (N)
04	4" DIA. SINGLE GRATE INTAKE WITH TRIP & CASTING RIM: 072.28 INV IN: 074.20 (N) INV OUT: 073.00 (N)
05	4" DIA. SINGLE GRATE INTAKE WITH TRIP & CASTING RIM: 074.49 INV IN: 074.24 (N)
06	4" DIA. SINGLE GRATE INTAKE WITH TRIP & CASTING RIM: 069.00 INV IN: 074.48 (N)

### SANITARY STRUCTURE TABLE

STRUCTURE NO.	DETAILS
01	COORDINATE BUILDING CONNECTION WITH MEP PLANS RIM: 051.00 INV OUT: 078.60 (S)
02	6" CLEANOUT RIM: 051.00 INV IN: 078.84 (N) INV OUT: 078.84 (S)
03	6" CLEANOUT RIM: 051.00 INV IN: 078.60 (N) INV OUT: 078.60 (C)
04	INSTALL GAP ON EXISTING WATER SERVICE AND CONVERT ANY SERVICE TO A PIPE CONNECTION, REMOVE EXISTING SERVICE MATERIALS. CONTRACTOR TO FIELD VERIFY SIZE AND DEPTH OF EXISTING SERVICE PRIOR TO GRADING MATERIALS. RIM: 076.24 INV IN: 073.25 (S)

### UTILITY NOTES

**GENERAL UTILITY NOTES**

- ALL WATER LINES 8" & 12" SHALL BE DUCTILE IRON PIPE, CLASS 20.
- ALL SANITARY SEWER LINES SHALL BE PVC UNLESS OTHERWISE NOTED. EXCEPT FOR SANITARY SEWER THAT EXISTED PRIOR TO WATER MAIN, THIS PIPE SHALL BE AWWA C900 UNLESS WATER MAIN CASING IS UTILIZED. PROVIDE SEE MANHOLE COVER.
- CONTRACTOR SHALL COORDINATE ANY DISBURSING TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXISTING SERVICE LINES SHALL BE CONDUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISBURSING SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AGENCY AND CONTRACTOR HAS BEEN NOTIFIED OF THE CONSTRUCTION.
- CONTRACTOR TO CALL "TWO ONE CALL" (1-800-328-5888) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE BEGGINING MATERIALS OR CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY DEPTHS AND INFORM THE OWNER. THE CONTRACTOR SHALL DEVELOP A CONFLICT OR REQUIRED SEPARATION FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 10 WORKDAYS PRIOR TO CONSTRUCTION. THE ENGINEER AND THE CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF LOCAL JURISDICTION OR ANY OTHER AGENCY HAVING JURISDICTION FOR CONSTRUCTION AND TRADING PROCEDURES. THE CONTRACTOR SHALL USE EXISTING DESIGN DRAWINGS AND RECORDS FOR CONSTRUCTION. PRODUCTION, CONSTRUCTION AND TRADING CONTRACTS ARE REQUIRED FOR COMPLIANCE WITH PERFORMANCE CRITERIA AS REQUIRED BY LOCAL.
- CONTRACTOR TO AVOID DISBURSING OF ANY ADJACENT TOWN'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLAN BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE DRAIN LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

**AUTOZONE, INC**  
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**AutoZone STORE DEVELOPMENT**  
Store No. 4384  
GRIMES IA 50111

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**WATER AND SEWER PLAN**

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REVISIONS  
1. 06/07/16

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**Kimley-Horn**  
1015 W. UNIVERSITY BLVD.  
MEMPHIS, TN 38103  
WWW.KIMLEY-HORN.COM

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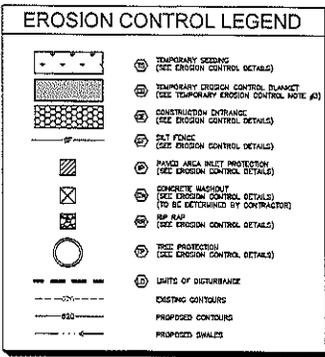
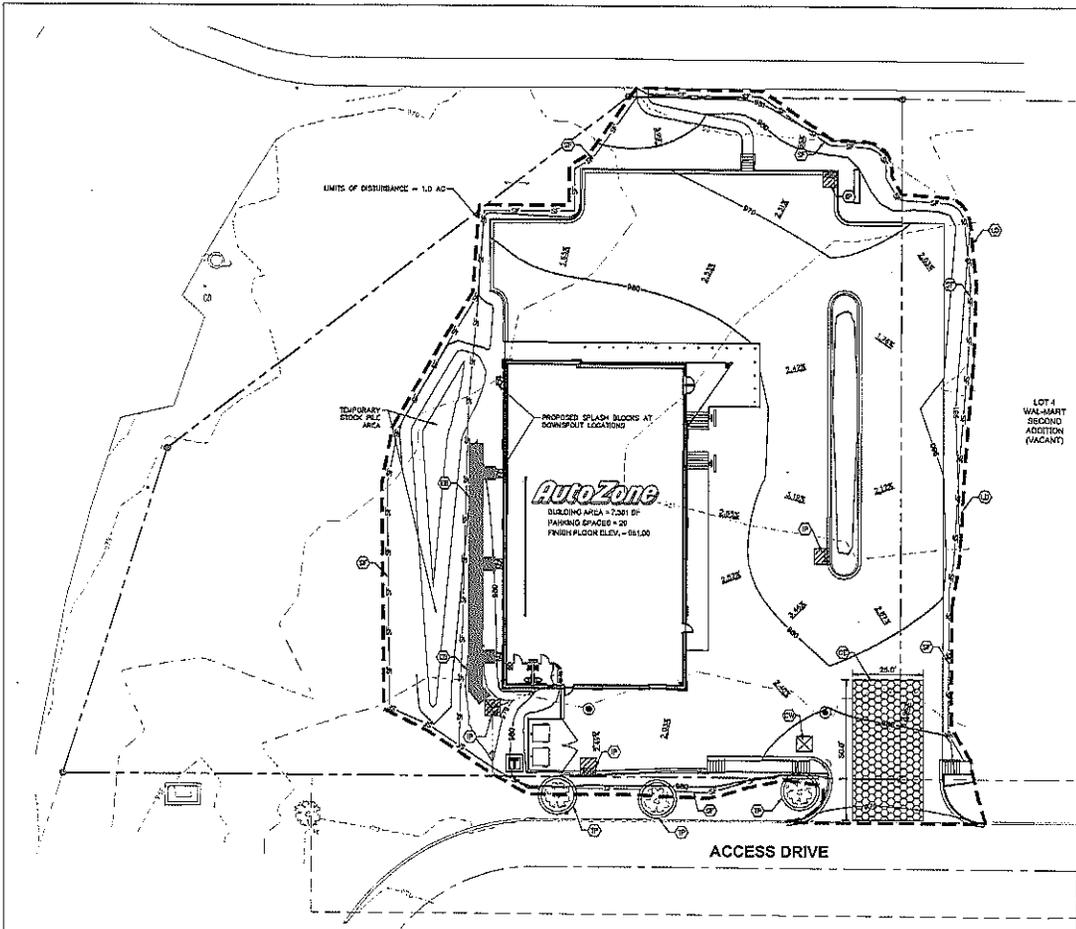
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PROTOTYPE SIZE  
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**C1.2**



### EROSION CONTROL NOTES

**SITE GENERAL NOTES**

- CONSTRUCTION ENTRANCES SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF OBSTRUCTION TO THE FLOW OF WATER AND OUT OF THE SITE. THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COMBINE WITH THE FINISHING OF THE PAVED DRIVEWAY.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRAVING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONSTRUCTION SHALL ALSO MAINTAIN CIVIL AND LANDSCAPE PLANS SHOW PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE REVEALING, AND SITE FINISHING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MANAGE SEDIMENT REMOVAL. FOR EXAMPLE, SILT FENCES LOCATED AT TOP OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.

**TEMPORARY EROSION CONTROL NOTES**

- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR POINTS FROM THOSE SHOWN ON THE APPROVED PLAN SHALL REQUIRE A DESIGN AND MUST BE APPROVED BY THE REVEALING ENGINEER, ENVIRONMENTAL SPECIALIST, OR AGRICULTURE AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE SEWERAGEUtility DEPARTMENT. MAJOR CHANGES OF EROSION CONTROL MEASURES TO BE MADE AT FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL DEPARTMENT DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT AN ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SYSTEM OR APPROVED EQUAL ON ALL SOFT AREAS WITH SLOPES GREATER THAN 4% AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- ALL CONTROL DEVICES THAT FUNCTION UNDESIRABLY TO SILT FENCE OR OTHER MEASURES SHALL BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WITHIN 24 HOURS OF NOTIFICATION. AS THE JOBSITE SLOPES ARE GRADDED BEHIND THE DEVICES, THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE INITIAL DATE OR AS SOON AS PRACTICABLE.
- ACCUMULATIONS OF TRUCKS AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OF OCCURRENCE IF OCCURRED. SEDIMENT TRUCKS MUST BE MAINTAINED BY THE UNDESIRABLE PRACTICE. PRACTICE LIKE A SURFACE SITE WITH AN ADEQUATE SURFACE OF SEDIMENTATION CONTROL. CONSTRUCTION IS NOT PERMITTED FOR STREET CLOSING AND/OR CONFINING IF ROAD PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRUCKED FROM THE SITE.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET AND NOTED IN THE NOTES. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THESE MEASURES INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE OWNER AND APPROVE FINISHING PERMIT PROGRAM REQUIREMENTS.
- PUMPING EXCESSIVE LAWN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OTHER AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLANE OR OTHER AREA WHERE UNDESIRABLE OVERTHEWAPPING, GARDEN SPRINKLING CONDITIONS TO BE ESTABLISHED BY THE PROJECTOR.
- ALL TEMPORARY MEASURES SHALL BE REMOVED WITHIN 2 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. REMOVED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM CONSTRUCTION SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, DRAINAGE, AND OTHER WATER HOLDING DEVICES OR EQUIPMENT MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DRAINAGE DEVICES ARE USED, SEDIMENT LOADINGS SHALL BE PROTECTED FROM EROSION.

### EROSION CONTROL SCHEDULE AND SEQUENCING:

- ROUGH GRADING** CONSTRUCTION ENTRANCES/OUT SILT FENCE PROTECTION CONSTRUCTION PROTECT AREA AND THE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION THE 80-OPERATION SHALL BE USED FOR TEMPORARY SEDIMENT CONTROL.
- UTILITY INSTALLATION** ALL PERMANENT EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
- PAVING** ALL PERMANENT EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
- FINAL DRAINAGE/SILT STABILIZATION/LANDSCAPING** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE COMPLETION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY. THE SEDIMENTATION SHALL BE COMPLETED UPON FINAL STABILIZATION OF THE SITE.

**AUTOZONE, INC**

123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: (901)495-8714 FAX: (901)495-8424

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Prepared For: **AutoZone STORE DEVELOPMENT**  
Store No. 4384

IA  
50111

GRIMES  
EROSION CONTROL PLAN

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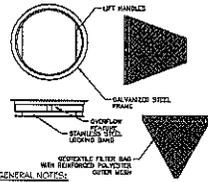
REVISIONS	SCALE: SEE PLAN
1. 10/07/18	
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**Kimley-Horn**

MEMPHIS HEAD OFFICE  
1000 WINDY HILL ROAD  
MEMPHIS, TN 38117

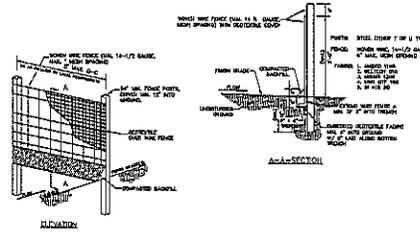
DATE: 04-27-2016  
PROTOTYPE SIZE: 7N2

# C1.3



GENERAL NOTES:  
 ALL PRODUCTS MANUFACTURED BY INLET AND FENCE PROTECTION, INC OR APPROVED EQUALS.  
 NOTE: INLET FILTERS ARE SQUARELY SMALLER THAN THE INLET GRATE SIZE WHEN INSTALLING OR BRACING FILTERS/GRATES PLACE REFER TO THE DIMENSIONS "A" OR "B" AND HEIGHT "H" OF FILTER FRAMES OR GRATING GRATES.  
 NOTE: ROUND AND SQUARE INLET FILTERS AVAILABLE FOR HOIST HOLE AND EAST APPROX. BEARING, HOIST LINES AND CURB SIDE FRAME TYPES.  
 ALL INLET FILTERS TO OBSOLETE AS CONSTRUCTION SITE EROSION CONTROL MANUAL AS ISSUED BY FEMA DOT.

**INLET PROTECTION**  
 NCA

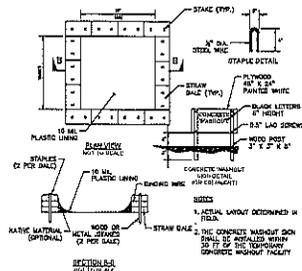


GENERAL NOTES:  
 1. WOODS ARE TO BE PLANTED IMMEDIATELY IN PLANTING PERIODS WITH THE FENCE. 2. MAINTAINANCE TO BE PERFORMED IMMEDIATELY TO WOODS ARE PLANTED WITH THE FENCE. 3. THE METHOD OF PLANTING SHALL BE AS SHOWN IN THE DRAWING. 4. PLANTING SHALL BE PERFORMED AS SHOWN IN THE DRAWING. 5. ALL SILT FENCE SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.  
**SEDIMENTATION SILT FENCE WITH WIRE SUPPORT**  
 NCA

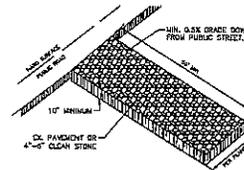
STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A				B					
TEMPORARY SEEDING	C											D
MULCHING	E		F									

A KEY/STOCKY BULKGRASS 30 LBS/ACRE MIXED WITH PERENNIAL HYDRANGE 30 LBS/ACRE  
 B KEY/STOCKY BULKGRASS 125 LBS/ACRE MIXED WITH PERENNIAL HYDRANGE 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE  
 C SOO  
 D SPRING DATE 100 LBS/ACRE WHEAT OR CEREAL RYE 150 LBS/ACRE  
 E IRRIGATION NEEDED DURING JUNE AND JULY  
 F IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO

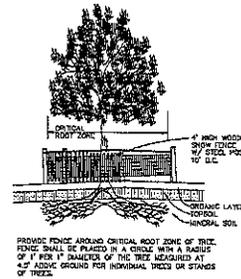
**SEEDING CHART**



**CONCRETE WASHOUT**  
 NCA



**CONSTRUCTION ENTRANCE**  
 NCA



**TREE PROTECTION**  
 NCA

**AUTOZONE, INC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 TEL: (901)495-8714 FAX: (901)495-8424

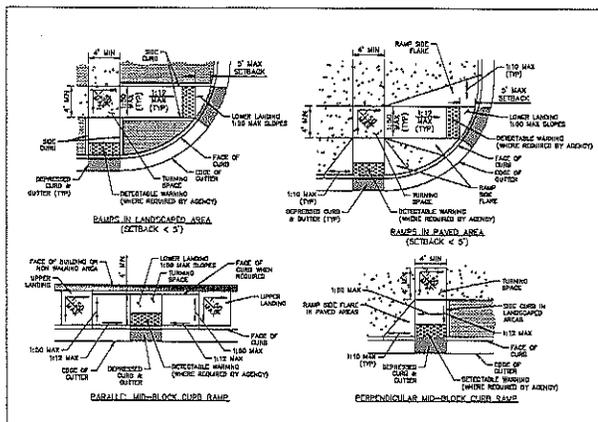
Prepared **AutoZone** STORE DEVELOPMENT  
 For: Store No. 4384  
 GRIMES IA 50111  
**EROSION CONTROL DETAILS**

REVISIONS	DATE	BY	CHKD	APP'D	SCALE
1	09/01/16				SEE PLAN

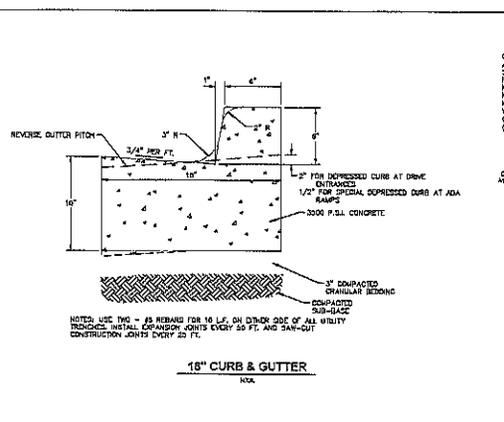
**Kimley-Horn**  
 601 HUNTERDALE ROAD  
 SUITE 200  
 MEMPHIS, TN 38119

DATE  
 04-27-2016  
 PROTOTYPE SIZE  
 7N2

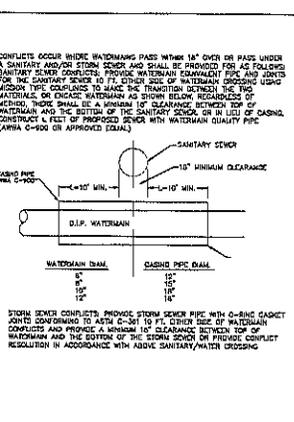
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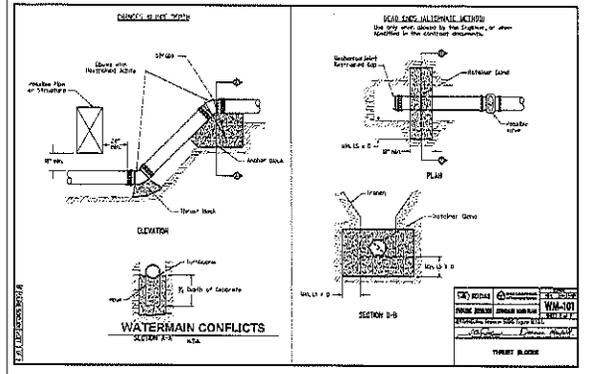
**SIDEWALK AND SIDEWALK RAMPS**



**18\"/>**

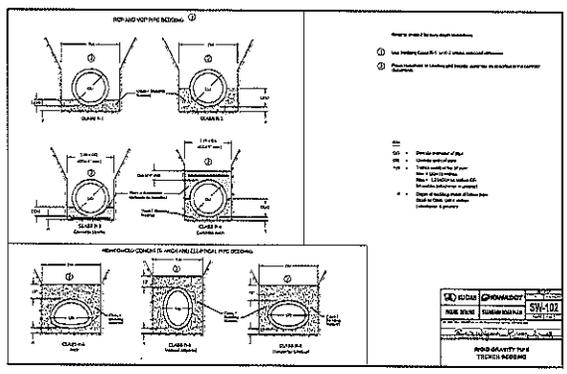


**TYPICAL VALVE SETTING AND BOX**



**WATERMAIN CONFLICTS**

**TYPICAL ASSEMBLY**



**ROAD AND SIDEWALK**

ALTERNATE BARRIERS

Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
Alternate 1	4.5	18.0	Concrete
Alternate 2	5.0	18.0	Concrete

ALTERNATE BARRIERS

Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
Alternate 1	4.5	18.0	Concrete
Alternate 2	5.0	18.0	Concrete

ALTERNATE BARRIERS

Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
Alternate 1	4.5	18.0	Concrete
Alternate 2	5.0	18.0	Concrete

**ROAD AND SIDEWALK**

ALTERNATE BARRIERS

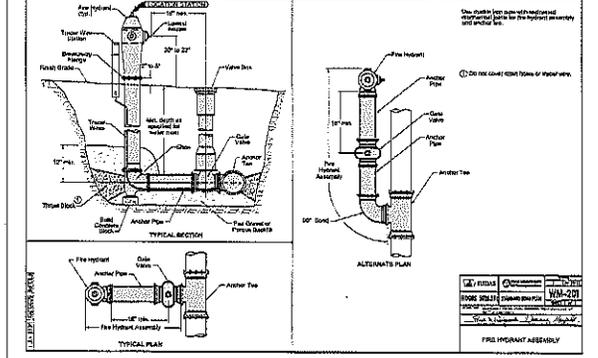
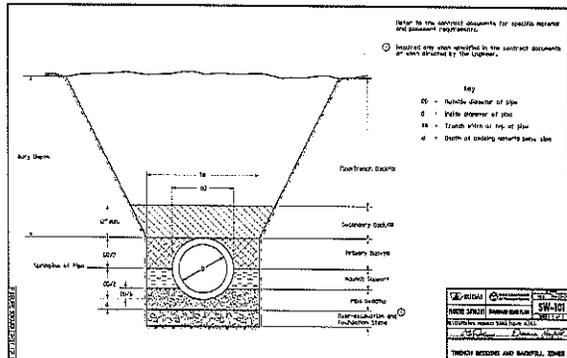
Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
Alternate 1	4.5	18.0	Concrete
Alternate 2	5.0	18.0	Concrete

ALTERNATE BARRIERS

Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
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ALTERNATE BARRIERS

Barrier	Height	Width	Material
Standard	4.0	18.0	Concrete
Alternate 1	4.5	18.0	Concrete
Alternate 2	5.0	18.0	Concrete



**TYPICAL ASSEMBLY**

**AUTOZONE, INC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 TEL: (901)495-8714 FAX: (901)495-8424

**AutoZone STORE DEVELOPMENT**  
 Store No. 4384

**CONSTRUCTION DETAILS**

50111 IA

REVISIONS  
 1. 06/07/16

DATE  
 04-27-2016

PROTOTYPE SIZE  
 7N2

**C1.5**



GENERAL NOTES

- 1. GENERAL NOTES: CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

- 2. EXISTING UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

- 3. CONCRETE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

- 4. SIGNAGE AND PAVEMENT MARKING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

- 5. SANITARY SEWER: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

- 6. WATER MAIN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRIMES.

City of Grimes Standard Notes for Site Plans

1. General Notes: The Contractor is required to provide a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction.

2. Sanitary Sewer: The Contractor is required to provide a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction.

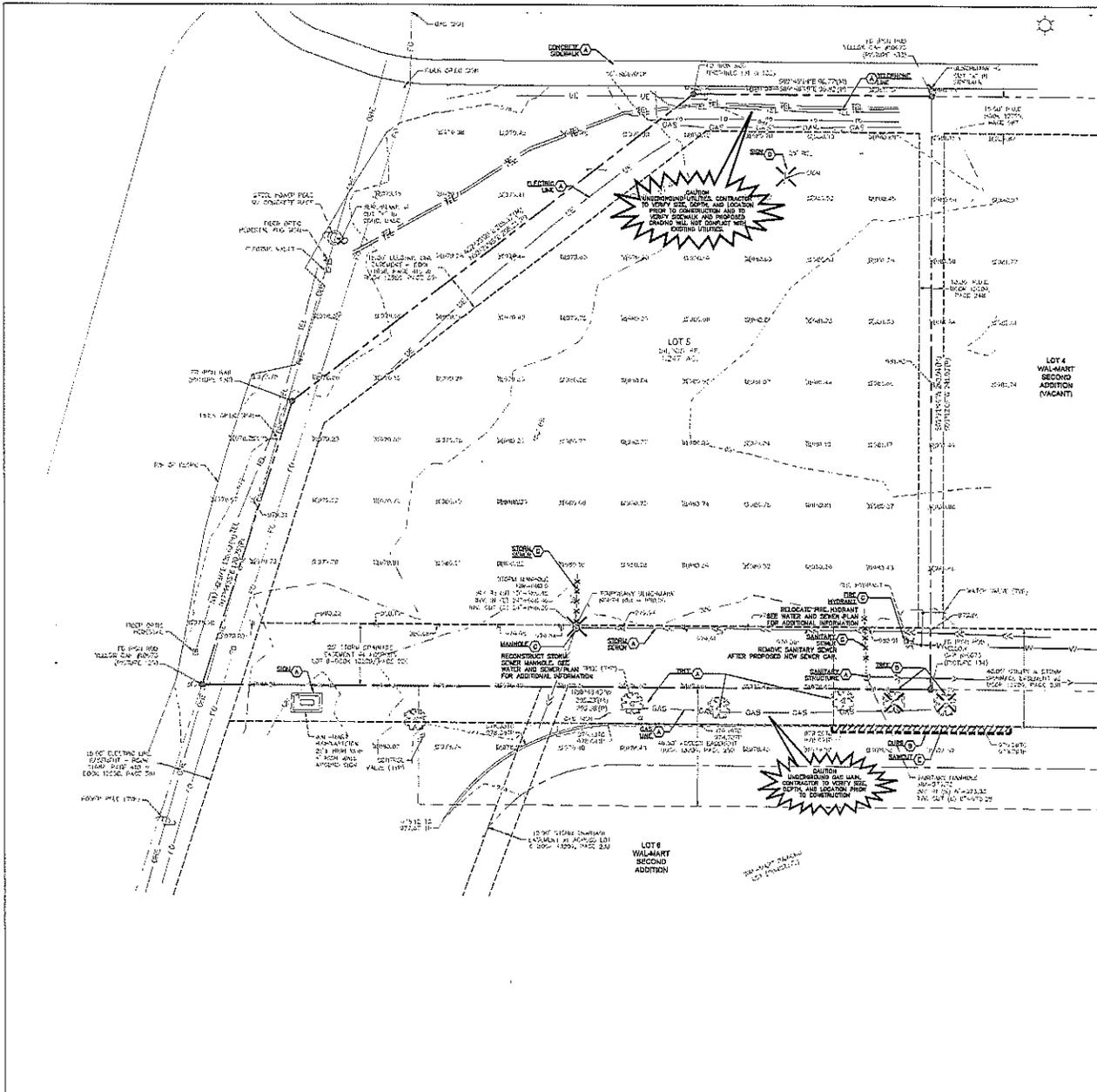
3. Water Main: The Contractor is required to provide a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction.

4. Storm Sewer: The Contractor is required to provide a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction.

5. Storm Sewer: The Contractor is required to provide a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction.

Prepared For: Kimley-Horn & Associates, Inc. 04-27-2016 DATE: 04-27-2016 SCALE: SEE PLAN

AutoZone STORE DEVELOPMENT 123 South Front Street, 3rd Floor Memphis, Tennessee 38103 TEL: (901)495-8714 FAX: (901)495-8424



### DEMOLITION NOTES

- GENERAL DEMOLITION NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, ROUTE UTILITIES, PAVEMENT AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
  - CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBERED AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
  - THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED UPON AS SOON AS PRACTICABLE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 10 BUSINESS DAYS PRIOR TO DEMOLITION TO OBTAIN EXACT FIELD LOCATION OF UTILITIES.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRADING BUSINESS, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRADING BUSINESS.
  - CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNER'S LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED IN THESE PLANS.
  - CONTRACTOR TO VERIFY ALL DEMOLISHED QUANTITIES PRIOR TO BEING.
  - DEBRIS CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER TO SHEET 72-1.
  - REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.

**DEMOLITION NOTES**

THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS ORDERED HEREON. PERFORM ALL LABOR MATERIALS EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION NUMBER, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OF THE FOLLOWING ITEMS:

- DEBRIS AND ON-SITE PAVEMENT
- DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A CLEAN EDGE WHERE IT MEETS NEW CURB OR PAVEMENT.

**DISPOSAL OF DEMOLISHED MATERIALS**

REMOVE FROM SITE DEBRIS, RUBBERED AND OTHER MATERIALS RESULTING FROM DEMOLITION INCLUDING DEMOLISHED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. DEMOLISHED MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSAL OF OFF SITE IN A LEGAL MANNER. LANDSCAPE, RESTORATION AND REDEMPTION.

SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

**UTILITY PROTECTION**

UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PROVIDED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "TOLL FREE CALL" (1-800-325-3889) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY DEMOLITION CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING JURISDICTION. DAMAGED SALES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROJECT. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT SHALL BE CONSIDERED NECESSARY TO THE PROJECT. PRIOR TO DEMOLITION IS THE OWNER'S OF EXISTING UTILITIES SHALL BE MADE AT LEAST AS SHOWN BEFORE CONSTRUCTION COMMENCES.

**DEBRIS CONTROL**

USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND SOOT RISING AND CONTAINING IN THE AIR TO THE LOWEST LEVEL POSSIBLE WITH ALL OPERATING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE ENGINEER CONTROL SHEETS FOR FURTHER DESIGN CONSIDERATIONS.

**TELLING WORDS**

COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL FINISH AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE 3/4" INCH SPT APPROVED CRUSHED GRANULAR MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER. USE WATER TO MOISTEN MATERIALS CONTAINING OF STONE GRADUALS AND SAND. FILL FROM BOTTOM TO TOP. FROZEN GRANULARS, SOILS, AND OTHER SOFTENED MATERIALS FROM ALL PORTION OF THE MATERIALS SHOULD THAT NEED TO BE FIELDED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS AT OPTIMUM MOISTURE CONTENT OF FILL. SPECIALIZE TO SOAK OF MOISTENED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

### DEMOLITION LEGEND

- (A) --- ITEM TO REMAIN PROTECT DURING CONSTRUCTION
- (B) --- CURB REMOVAL
- (C) - X - X - UTILITY REMOVAL
- (D) X --- ITEM TO BE REMOVED
- (E) --- SAWCUT LINE

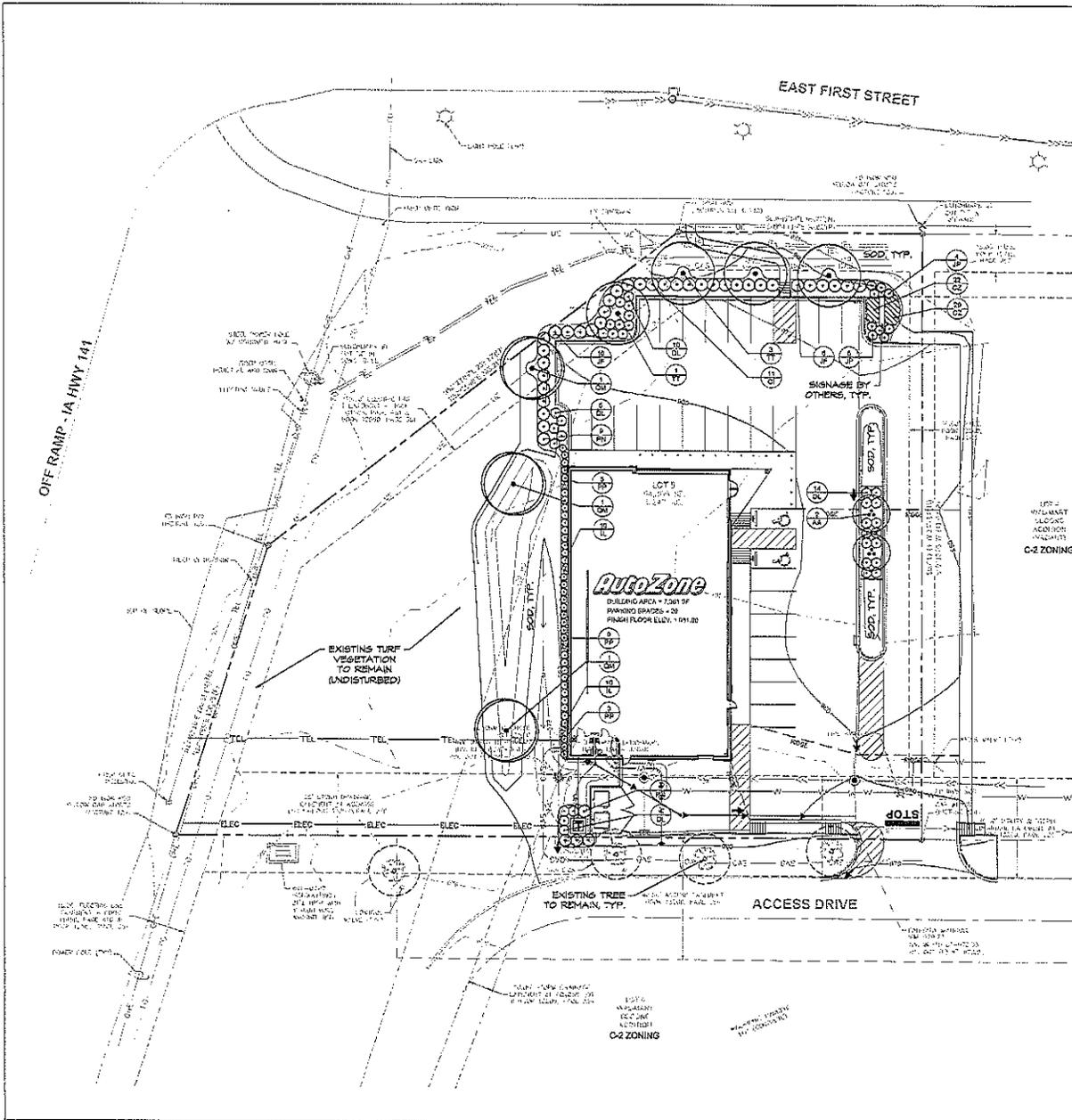
**AUTOZONE, INC**  
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 TEL: (901)495-8714 FAX: (901) 495-8424

**AutoZone STORE DEVELOPMENT**  
 Store No. 4384  
 GRIMES IA 50111  
 DEMOLITION PLAN

REVISIONS	DATE	BY	CHKD
1.	08/07/16		
2.			
3.			
4.			

SCALE: SEE PLAN

**Kimley-Horn**  
 100 HUNTERSWOOD  
 LITTLE ROCK, AR 72205  
 DATE: 04-27-2016  
 PROTOTYPE SIZE: 7N2  
**D1.0**



LANDSCAPE CALCULATIONS BASED ON HIGHWAY 141 CORRIDOR DISTRICT ZONE 1

CHAPTER 165A #	REQUIREMENT	CALCULATION OF REQUIRED LANDSCAPING	LANDSCAPING PROVIDED
165A.14 OFF-STREET PARKING AND LOADING SCREENING	PARKING LOTS SCREENED FROM PUBLIC RIGHT-OF-WAY	N/A	CONTINUOUS SHRUB HEDGE ALONG ALL PARKING LOTS FACING PUBLIC RIGHT OF WAY
165A.16.1 INTERIOR PARKING LOT LANDSCAPE	MINIMUM OF ONE 60 SF LANDSCAPE AREA FOR EVERY 12 PARKING SPACES	TOTAL PARKING SPACES = 28 28 / 12 = 2.3 2.3 X 60 = 138 SF OF LANDSCAPE AREA	1,111 SF LANDSCAPE AREA
165A.16.3 PERIMETER OF LOTS ADJACENT OF PUBLIC RIGHT-OF-WAY	1 TREE FOR EVERY 50 LF OF VEHICULAR USE AREA FACING PUBLIC RIGHT-OF-WAY IN ADDITION TO A HEDGE.	LF OF VEHICULAR USE FACING PUBLIC RIGHT-OF-WAY = 171 LF 171 / 50 = 4 TREES IN ADDITION TO CONTINUOUS HEDGE	5 TREES CONTINUOUS HEDGE ALSO PROVIDED
165A.18 DEVELOPMENT STANDARDS MINIMUM OPEN GREEN SPACE	MINIMUM OPEN GREEN SPACE OF 20%	SITE AREA = 64,305 SF 64,305 X 0.2 = 10,861 SF	OPEN SPACE PROVIDED: 25,850 SF
165A.8A LANDSCAPE VEGETATION STANDARDS	2 TREES PER 3,000 SF OF REQUIRED OPEN SPACE 50% OF WHICH ARE 2' CAL. 50% 8' HT	REQUIRED OPEN SPACE = 10,861 SF 10,861 / 3,000 = 3.62 (4 TREES) (2) 2' CAL TREES (2) 8' HT ORNAMENTAL TREES	(2) 2' CAL. TREES (2) 8' HT ORN. TREES
165A.8B LANDSCAPE VEGETATION STANDARDS	1 SHRUB FOR EVERY 1,000 SF OF REQUIRED OPEN SPACE	REQUIRED OPEN SPACE = 10,861 SF 10,861 / 1,000 = 10.9 (11 SHRUBS)	26 SHRUBS

BASED ON TRANSPORTATION CORRIDOR MIXED USE DEVELOPMENT OVERLAY DISTRICT

CHAPTER 165B #	REQUIREMENT	CALCULATION OF REQUIRED LANDSCAPING	LANDSCAPING PROVIDED
165B.2.B PERIMETER PARKING LOT LANDSCAPING ADJACENT TO PUBLIC RIGHTS-OF-WAY	1 TREE FOR EVERY 40 FEET OF PARKING LOT IN ADDITION TO A HEDGE ALONG THE PERIMETER	LF OF VEHICULAR USE FACING PUBLIC RIGHT-OF-WAY = 171 LF 171 / 40 = 4.275 (5) TREES IN ADDITION TO CONTINUOUS HEDGE	5 TREES CONTINUOUS HEDGE ALSO PROVIDED
165B.3 FOUNDATION PLANTINGS	FOUNDATION PLANTINGS ALONG FRONTS AND SIDES OF COMMERCIAL BUILDINGS	N/A	FOUNDATION PLANTING ALONG WEST SIDE OF BUILDING

**AUTOZONE, INC**

123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: (901)495-8714 FAX: (901) 495-8424

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**AutoZone STORE DEVELOPMENT**

Store No. 4384

GRIMES IA 50111

LANDSCAPE PLAN

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REVISIONS

1	06/01/16		
2			
3			
4			

**Kimley-Horn**

DATE: 04-27-2016  
PROTOTYPE SIZE: 7N2

**L1.0**

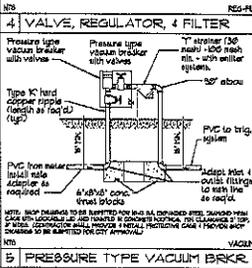
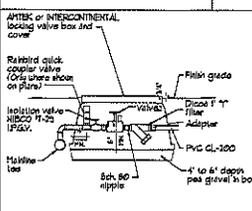
**PLANT SCHEDULE**

TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE
	AA	2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B x B		2' HT MIN
	OA	3	QUERCUS MACROCARPA	BURK OAK	B x B	2' GAL. MIN	
	TT	4	TILIA TOMENTOSA 'GREEN MOUNTAIN TM'	LINDEN	B x B	2' GAL. MIN	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	CI	11	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	-	SEE PLAN	24" HT MIN
	DL	35	DIERVILLA LONICERA	DIWART BUSH HONEYBUCKLE	-	SEE PLAN	18" HT MIN
	IL	20	ITEA VIRGINICA 'LITTLE HENRY TM'	VIRGINIA SHEETSPIRE	-	SEE PLAN	18" HT MIN
	JF	16	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	-	SEE PLAN	24" HT MIN
	JF	4	JUNIPERUS CHINENSIS 'KALLAY COMPACT'	KALLAY COMPACT PRITZER JUNIPER	-	SEE PLAN	18" HT MIN
	YN	13	PHYSCARPUS OPULIFOLIUS 'SUMMER HINE'	SUMMER HINE NINEBARK	-	SEE PLAN	24" HT MIN
	PP	17	FINUS MADO 'PUMILO'	MADDO PINZ	-	SEE PLAN	18" HT MIN
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	CZ	21	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB THREAD LEAF COREOPSIS	1 GAL	18" OC	

EXISTING TREES TO REMAIN

**GENERAL IRRIGATION NOTES**

- Contractor to provide design drawings for approval prior to installation.
- Irrigation to extend from property line to back of city sidewalk and 7' or curb.
- Install 1/2" dia. PVC pipe sleeves under existing tree cross or area under pavement.

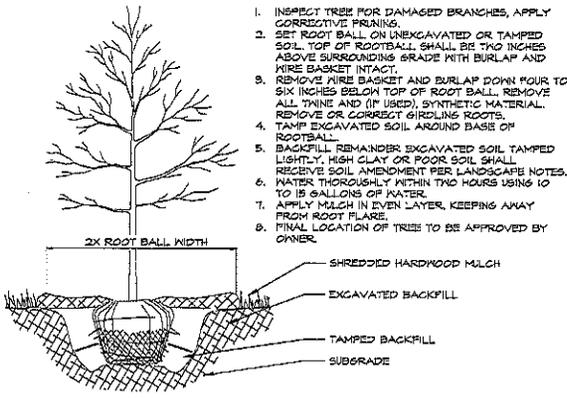


**LANDSCAPE NOTES**

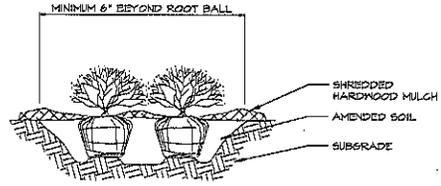
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SOIL LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOIL ALL AREAS WHICH ARE DISTURBED BY GRADING WITH SOIL.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4" FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 3' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFECTIVE, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

**NOTES:**

- INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



1 TREE PLANTING



**NOTES:**

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE FOR LARGER SHRUBS WITHIN PLANTING BED IS A DEEPER FIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

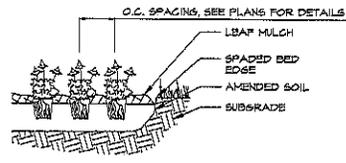
1 SHRUB PLANTING

**NOTES:**

- EXCAVATE PLANTING BED.
- BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
- REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
- PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGES, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS SPECIFIED IN LANDSCAPE NOTES.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUND COVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
- SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGES OF BED.



PLAN VIEW



SECTION

1 PERENNIAL PLANTING

**AUTOZONE, INC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 TEL: (901)495-8714 FAX: (901)495-8424

**AutoZone STORE DEVELOPMENT**  
 Store No. 4384

50111 IA

**GRIMES**  
 LANDSCAPE DETAILS AND NOTES

Prepared For: **REVISIONS**  
 L 02/27/15

**Kimley-Horn**  
 101 W. WALLACE ROAD  
 SUITE 100  
 ANDERSON, SC 29624

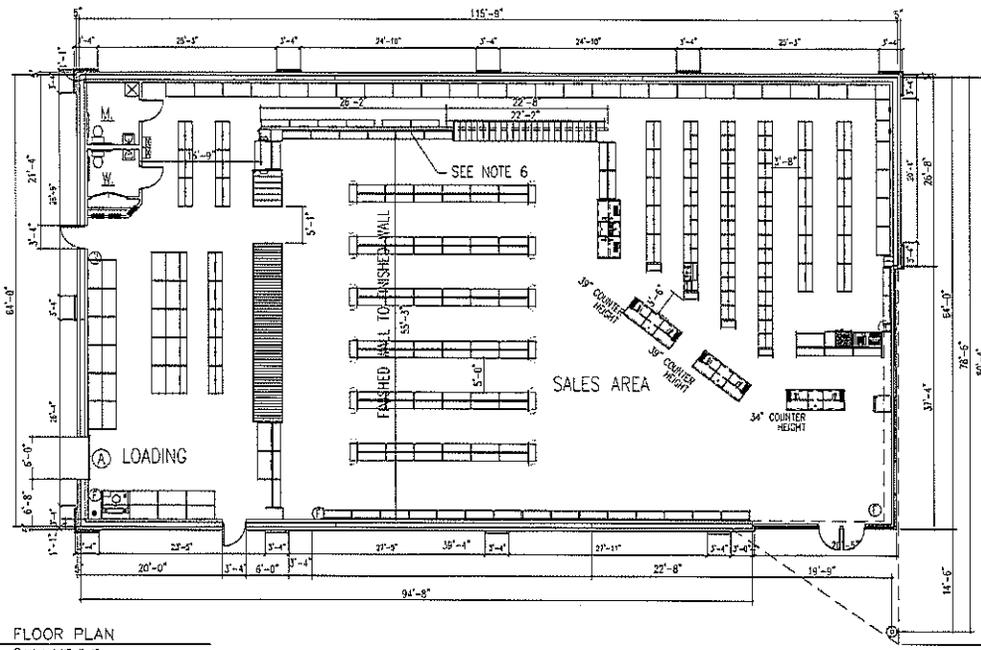
DATE: 04-27-2016  
 PROTOTYPE SIZE: 7N2

**L2.0**

SCALE: SEE PLAN

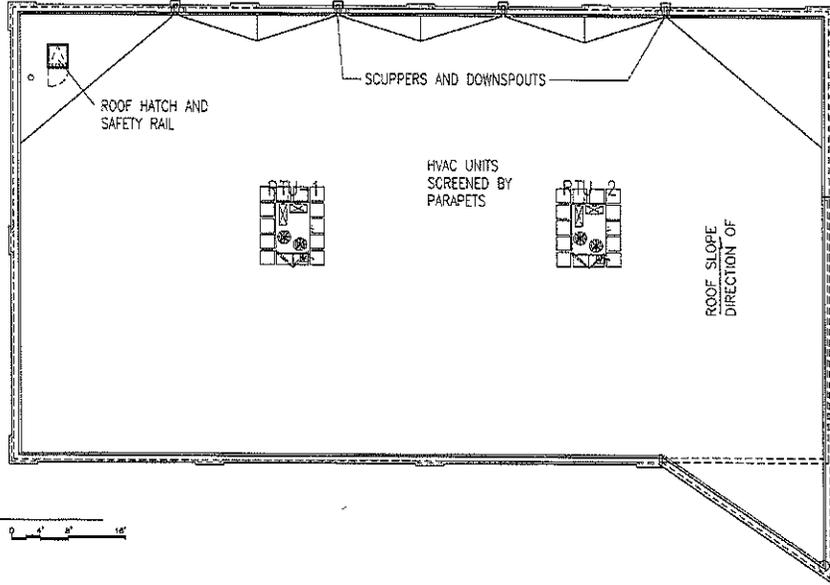


© L. CONVERSE 2007



FLOOR PLAN

Scale: 1/8"=1'-0"



ROOF PLAN

Scale: 1/8"=1'-0"

REVISIONS	
1	4
2	5
3	6

AutoZone Store No. 4384  
HWY 41 & NW 70TH

GRIMES IA 50111  
FLOOR AND ROOF PLANS

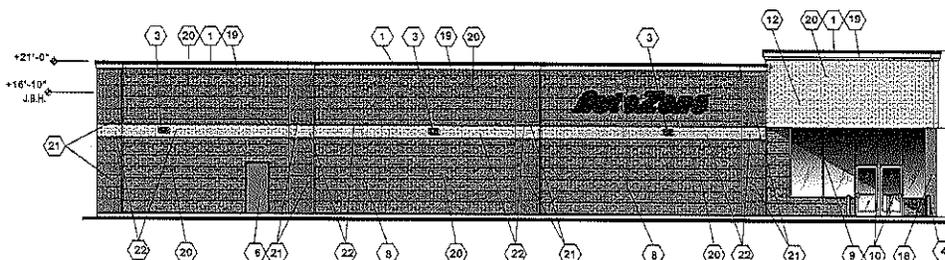
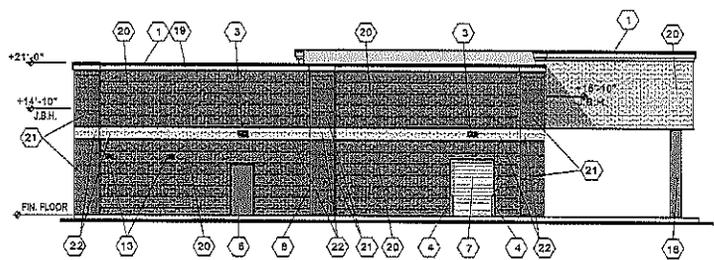
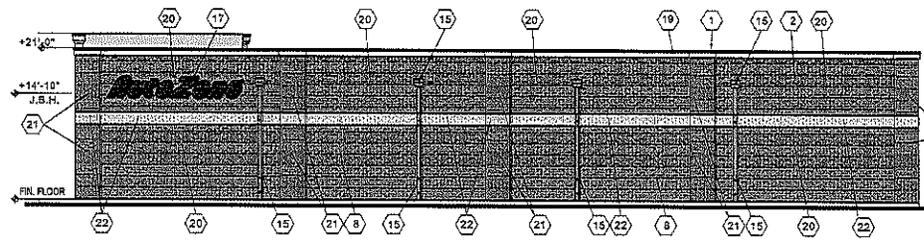
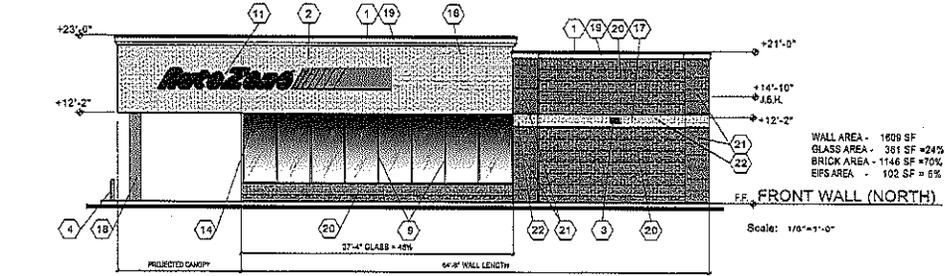
Architect: Philip C. Pecord  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: (901) 495-8714 FAX: (901) 495-8969

05-25-16

7N2-R

PS1





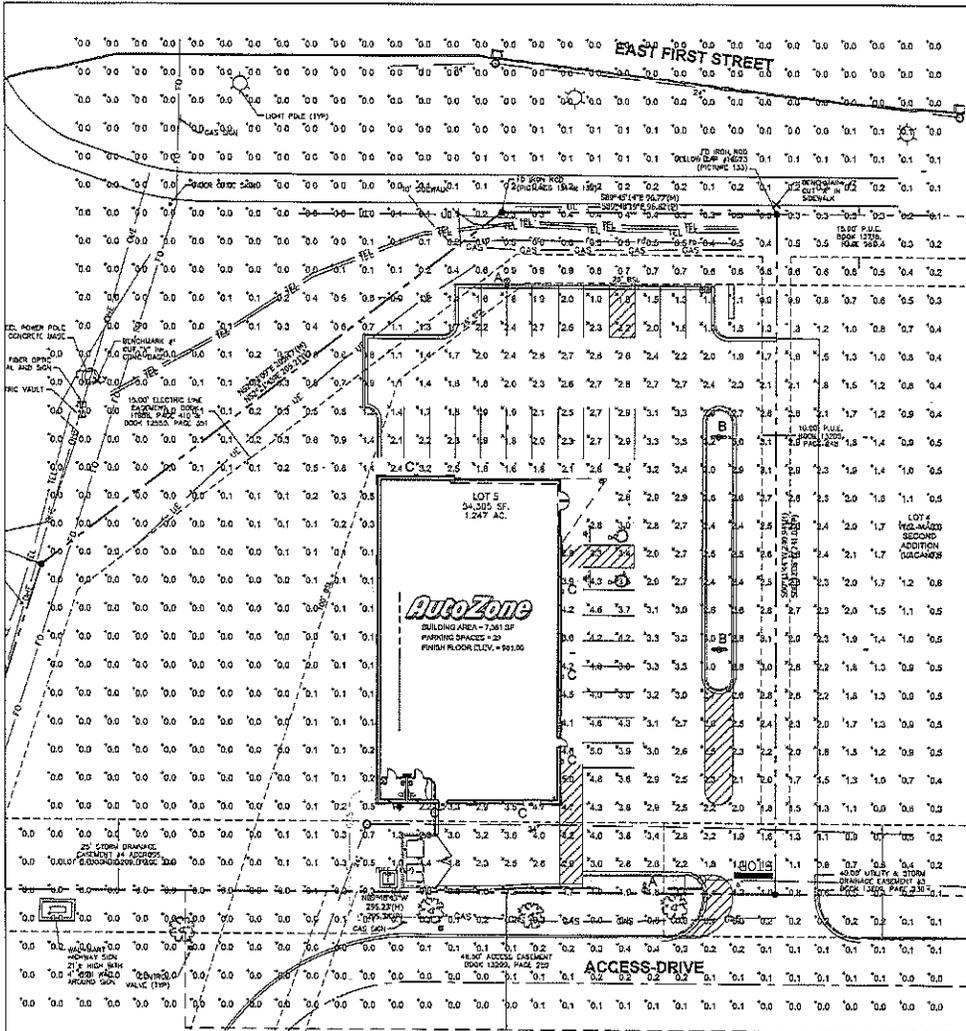
- 1 COPING - DARK BRONZE
- 2 DUSTY GREY IRONSPOT SIS5661 THIN BRICK BRICK
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH BROWN PLASTIC SLEEVE
- 5 EXTERIOR INSULATED FINISH - PAINT SW6086 SAND DUNE
- 6 PAINT MAN DOOR & METAL FRAMES SW 6088 NUTTHATCH
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 40" AZO CHANNEL LETTERS W/ RIGHT STRIPES
- 12 LEFT SIDE WALL SIGN - 40" AZO CHANNEL LETTERS
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINT SW6088. ADJACENT 4" H. X 8" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 HIAC UNITS SCREENED BY PARAPETS
- 17 RIGHT SIDE WALL SIGN - 40" AZO CHANNEL LETTERS
- 18 CORRUGATED COLUMN PAINT SW6088 NUTTHATCH
- 19 CORNICE - E.I.F.S. FINISH COLOR SW 6086 SAND DUNE
- 20 BURGANDY IRONSPOT W622 BRICK
- 21 DARK BROWN KL76 BRICK
- 22 DUSTY GREY IRONSPOT SIS5661 BRICK

1/8" = 1'-0"  
2 ELEVATION KEY NOTES

REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		

AutoZone Store No. 4384 HWY 41 & NW 70TH GRIMES IA 50111 COLORED ELEVATIONS
Architect: Philip C. Pecord 123 South Front Street Memphis, Tennessee 38103 TEL: (901) 485-8714 FAX: (901) 495-8969
05-25-16
TN2-R
<b>CE-1</b>



**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Design/Notes	Comments	Level	Fix	Mount	LLF	Watt
☐	WALKWAY LIGHT	1	LED T8 100W 40K T84 100W/40K	SCHEDULED WITH 1 LIGHT FIXTURE, 18 LUMENS PER HOUR, 4000K, 100W, 40K, 100W/40K, 100W/40K, 100W/40K, 100W/40K	LED	DOWN LIGHT	Recessed	0.85	40
☐	WALKWAY LIGHT	2	SCHEDULED WITH 20 WALKWAY LIGHT FIXTURES, 18 LUMENS PER HOUR, 4000K, 100W, 40K, 100W/40K, 100W/40K, 100W/40K, 100W/40K	SCHEDULED WITH 20 WALKWAY LIGHT FIXTURES, 18 LUMENS PER HOUR, 4000K, 100W, 40K, 100W/40K, 100W/40K, 100W/40K, 100W/40K	LED	DOWN LIGHT	Recessed	0.85	200
☐	WALKWAY LIGHT	2	SCHEDULED WITH 20 WALKWAY LIGHT FIXTURES, 18 LUMENS PER HOUR, 4000K, 100W, 40K, 100W/40K, 100W/40K, 100W/40K, 100W/40K	SCHEDULED WITH 20 WALKWAY LIGHT FIXTURES, 18 LUMENS PER HOUR, 4000K, 100W, 40K, 100W/40K, 100W/40K, 100W/40K, 100W/40K	LED	DOWN LIGHT	Recessed	0.85	416

**STATISTICS**

Discipline	Symbol	Qty	Min	Max	Avg	Area
Gas Zone #1	☐	256	50k	65k	43.1	331

PROJECT: **AutoZone STORE DEVELOPMENT**  
 SITE NO.: 4384  
 NW 70TH GRUES IA 50111  
 ARCHITECT: **PHOTOMETRIC PLAN**  
 SCALE: 1" = 1" = 20'  
 REVISIONS:  
 1.  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.  
 ARCHITECT:  
 DRAFTSMAN:  
 CHECKED BY:  
 PRINT DATE: 05-25-18  
 PHOTOGRAPHIC SIZE: 7x2  
**PH1**



PRELIMINARY- NOT FOR CONSTRUCTION

MAJOR PROJECTS: PARKING PLANS, TRAFFIC CONTROL, SIGNAGE, LIGHTING, AND UTILITIES

# HERITAGE AT GRIMES PLAT 5 PRELIMINARY PLAT

OWNER / PREPARED FOR:  
BEAVERBROOKE DEVELOPMENT COMPANY  
1046 SE 37TH ST  
GRIMES, IOWA 50111

PROPOSED ZONING:  
RUD- PLANNED UNIT DEVELOPMENT  
MIDDLE CLASS ZONING  
SINGLE-FAMILY TYPE (FOR PLANNED UNIT DEVELOPMENT)  
BUILDING SETBACKS:  
FRONT YARD = 20 FEET  
SIDE YARD = 7 FEET ONE SIDE, 14 FEET COMBINED TOTAL  
REAR YARD = 25 FEET

PROPERTY DESCRIPTION:  
HERITAGE AT GRIMES PLAT 4, BEING AN OFFICIAL REPLAT, IS DESCRIBED AS "OUTLOT 'D' IN HERITAGE AT GRIMES PLAT 4, AN OFFICIAL PLAT, CITY OF GRIMES, POLK COUNTY, IOWA."  
AID TRACT OF LAND BEING SUBMITTED AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD,  
SAID TRACT OF LAND CONTAINS 2.642 ACRES.

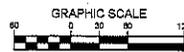
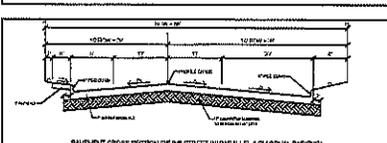
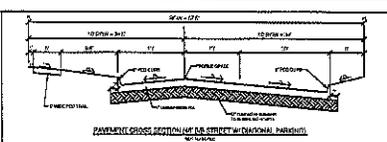
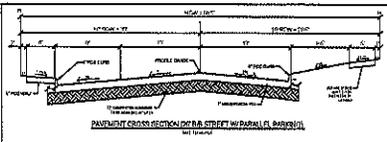
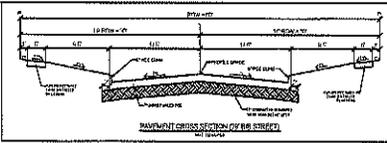
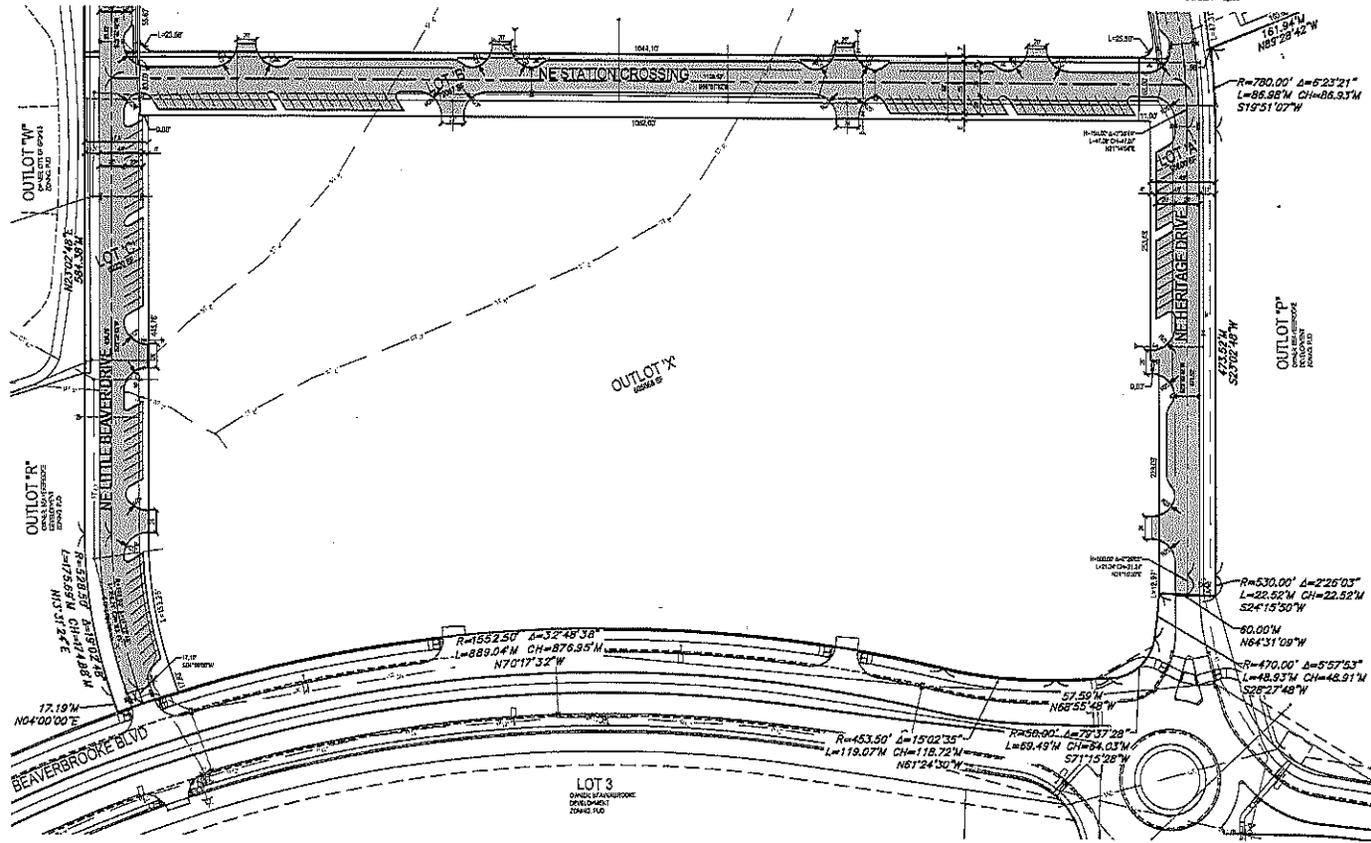
BENCHMARK:  
CITY BENCHMARK CORNER BERRY BOLT OR FIRE HYDRANT LOCATED ON THE EAST SIDE OF NORTH JAMES STREET BY THE NW CORNER OF LOT ADDRESS 1015. ELEVATION = 126.41 (2005 DATUM)  
CITY BENCHMARK CHISELED SQUARE IN NORTHWEST CORNER OF REINFORCED CONCRETE BOX CURB OUTLET FOR LITTLE CREEK AT JAMES STREET. ELEVATION = 200.00 (2005 DATUM)  
CITY BENCHMARK ARROW ON FIRE HYDRANT LOCATED AT NORTHEAST CORNER OF N. 10TH STREET AND JAMES STREET. ELEVATION = 231.28 (2005 DATUM)

CONSTRUCTION SCHEDULE:  
GRADING BY OTHERS  
UTILITIES FALL 2017  
PAVING SPRING 2018

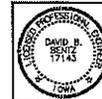
GENERAL NOTES:  
1. SEE PAVEMENT CROSS SECTION DETAIL FOR PAVEMENT THICKNESS REQUIREMENTS.  
2. PAVEMENT THICKNESS AND CROSS SECTION DESIGN IS INDICATED BY CITY OF GRIMES REQUIREMENTS.  
3. ALL SIDEWALK SERVICES ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.

**SHEET INDEX:**

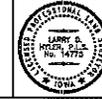
- 1 SOUTH LAYOUT
- 2 NORTH LAYOUT
- 3 SOUTH GRADING & UTILITY
- 4 NORTH GRADING & UTILITY



UTILITY NOTE:  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PLAT RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATION OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.  
SIGNED: DAVID B. BENZ, PE, 17143 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2018 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_ SHEETS 14



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
SIGNED: LARRY D. HYLER, L.S., 14775 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2018 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_ SHEETS 14



HERITAGE AT GRIMES PLAT 5  
GRIMES, IA

REFERENCE NAD83  
120101-4  
DRAWN BY  
JWR  
CHECKED BY  
JRE  
DATE (MM/DD)  
3/17/15 CITY SET

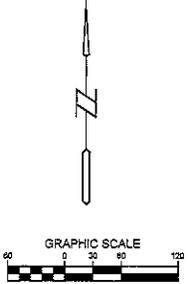
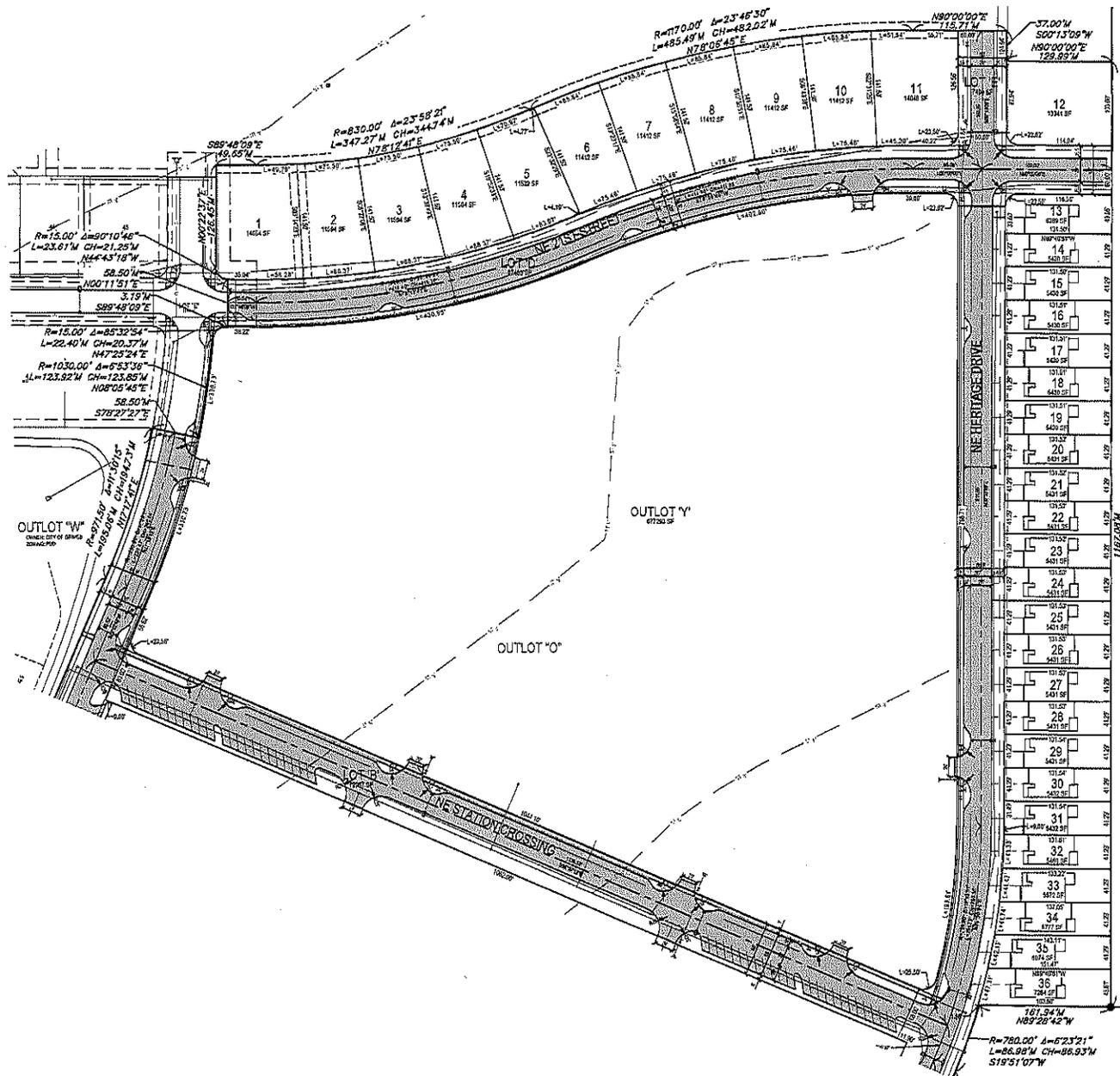
PROJECT NUMBER:  
120101-10  
PLAT NUMBER:

1 OF 4

PRELIMINARY PLAT LAYOUT

PRELIMINARY - NOT FOR CONSTRUCTION

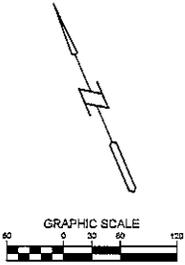
MEASUREMENTS TO CENTERLINE OF ROAD



PT. SE 1/4 SE 1/4  
SEC. 29 T80N R25W  
DISTRICT OF HENRY  
COUNTY, INDIANA

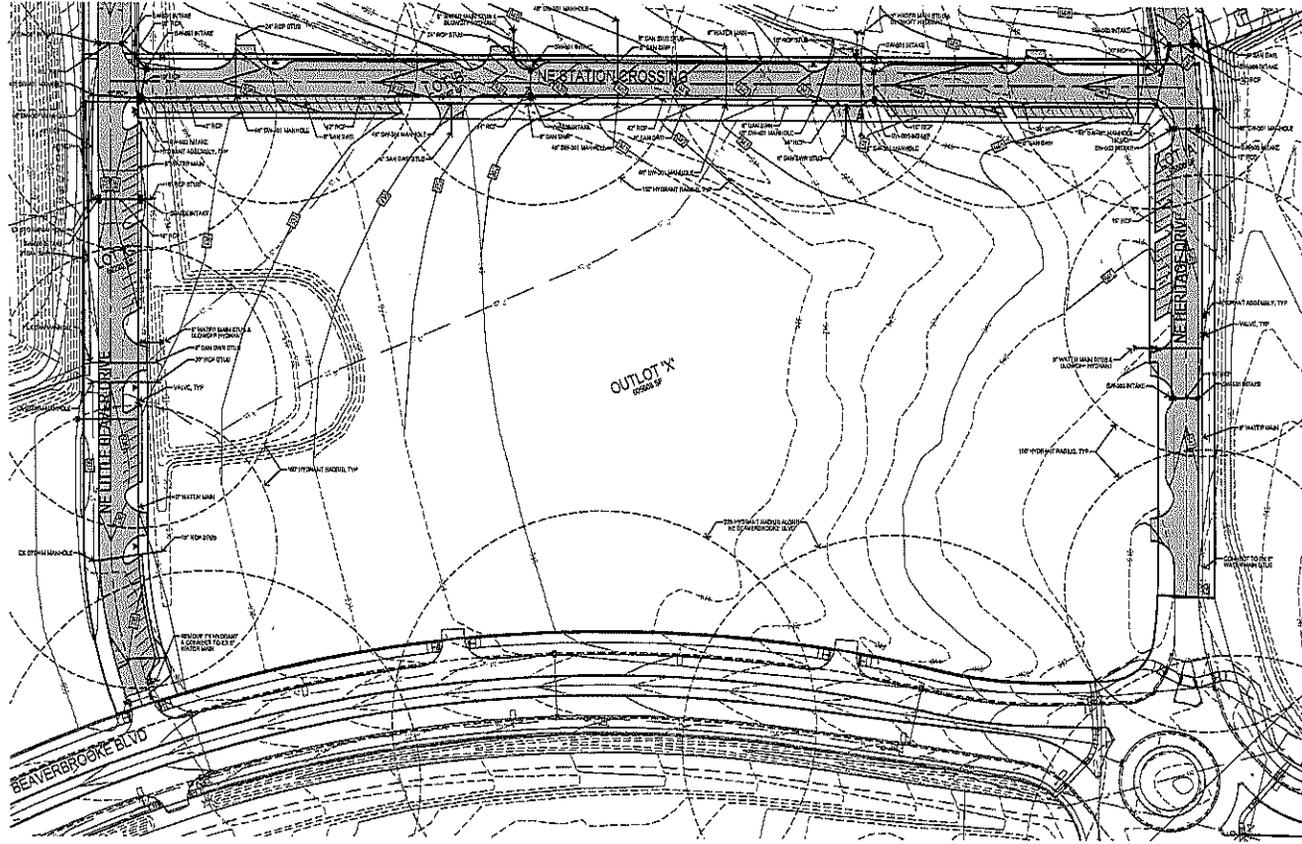
 <p><b>Bishop Engineering</b> "Planning Your Successful Development" 3501 104th Street De Meuse, Iowa 50508-3505 Phone: 515-281-9207 Fax: 515-281-9207 Established 1959 Civil Engineering &amp; Land Surveying</p>	
<p><b>HERITAGE AT GRIMES PLAT 5</b> GRIMES, IA</p>	
<p><b>PRELIMINARY PLAT LAYOUT</b></p>	
<p>APPROVED BY:</p>	<p>DATE:</p>
<p>DRAWN BY:</p>	<p>CHECKED BY:</p>
<p>SCALE:</p>	<p>DATE:</p>
<p>PROJECT NUMBER:</p>	<p>120101-10</p>
<p>HEET NUMBER:</p>	<p>2 OF 4</p>

MEAD PROJECTS 200 DOWNSHIP ROAD, BEAVER BROOK, ILLINOIS 62521



- ABBREVIATIONS:**
- AS VICES
  - ASPH ASPHALT
  - BSK BOSE
  - CCMC CONCRETE
  - D DISHED DISTANCE
  - EX EXISTING
  - ENCL ENCLASURE
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FRAC FRACTIONAL
  - M MEASURED DISTANCE
  - MAN MANHOLE
  - P PAVED DISTANCE
  - PAGE PAGE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PRA PROXIMATELY RECORDED AS
  - PUE PUBLIC UTILITY EASEMENT
  - ROW RIGHT OF WAY
  - SF SQUARE FEET
  - SAN SANITARY
  - TYP TYPICAL
  - MISEN MISER
  - S SOUTH
  - E EAST
  - W WEST

- LEGEND:**
- SAN — SANITARY SEWER
  - ST — STORM SEWER
  - W — WATER LINE
  - G — GAS LINE
  - STORM MANHOLE
  - CURB INTAKE
  - SURFACE INTAKE
  - SANITARY MANHOLE
  - CLEANOUT
  - P — FIRE HYDRANT
  - SPRINKLER
  - IRRIGATION CONTROL VALVE
  - WATER VALVE
  - WATER SHUT OFF
  - PROPERTY CORNER - FOUND AS NOTED
  - PROPERTY CORNER - PLACED 3/4" B'DEN PIPE WITH YELLOW PLASTIC CAP ID #475
  - FLARED END SECTION
  - SECTION CORNER - FOUND AS NOTED
  - SANITARY MANHOLE
  - ALL NEW 1/4" B'D ESTIMATES ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.



**Bishop Engineering**  
 "Planning Your Successful Development"  
 3501 104th Street  
 De Moines, Iowa 50325-5835  
 Phone: (515) 281-1377  
 Fax: (515) 281-1378  
 Civil Engineering & Land Surveying    Established 1959

HERITAGE AT GRIMES PLAT 5  
 GRIMES, IA  
**GRADING & UTILITY PLAN**

INTERIOR MARK	120101-4
DATE	01/11/16
DRAWN BY	JMB
CHECKED BY	JMB
DATE	01/11/16
PROJECT NUMBER	120101-10
SHEET NUMBER	3 OF 4

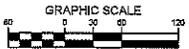
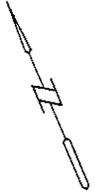






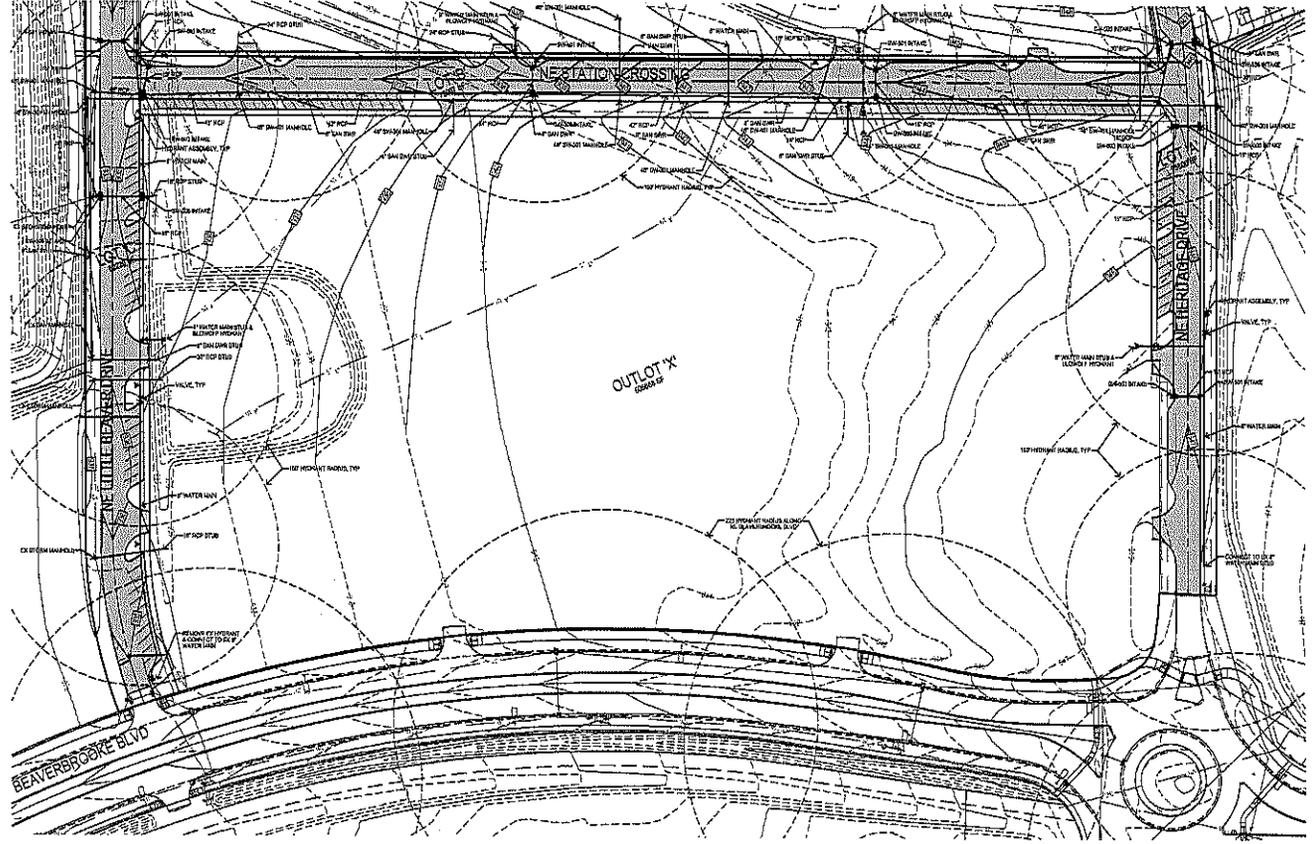
PRELIMINARY - NOT FOR CONSTRUCTION

MEAND PROJECT# 200902010101 DATE: 08/15/09 PREPARED BY: JAW/MS 02/18/10



- ABBREVIATIONS:**
- AC ACRES
  - ASPH ASPHALT
  - BK BLOCK
  - CONC CONCRETE
  - ED EASEMENT DISTANCE
  - EX EXISTING
  - ENCL ENCLASURE
  - FIN FINISHED FLOOR
  - FL FLOOR LINE
  - FRAC FRACTIONAL
  - MEAS MEASURED DISTANCE
  - MAH MANHOLE
  - P PLATYD DISTANCE
  - PG PAGE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PREVIOUSLY RECORDED AG
  - RIE RIGHT OF WAY EASEMENT
  - ROW RIGHT OF WAY
  - SF SQUARE FEET
  - SAN SANITARY
  - TYP TYPICAL
  - N NORTH
  - S SOUTH
  - E EAST
  - W WEST

- LEGEND:**
- SAN — SANITARY SEWER
  - ST — STORM SEWER
  - WL — WATER LINE
  - GL — GAS LINE
  - STORM MANHOLE
  - SANITARY MANHOLE
  - SURFACE INTAKE
  - RAISED END SECTION
  - SANITARY MANHOLE
  - CLEANOUT
  - F — FIRE HYDRANT
  - S — SPRINKLER
  - CV — IRRIGATION CONTROL VALVE
  - V — WATER VALVE
  - W — WATER SHUT OFF
  - PROPERTY CORNER - FOUND AS NOTED
  - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP TO MARK
  - ◆ SECTION CORNER - FOUND AS NOTED
- ALL SIDE YARD SETBACKS ARE INTENDED TO BE DELETED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.



HERITAGE AT GRIMES PLAT 5  
GRIMES, IA

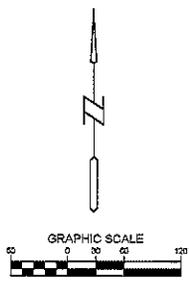
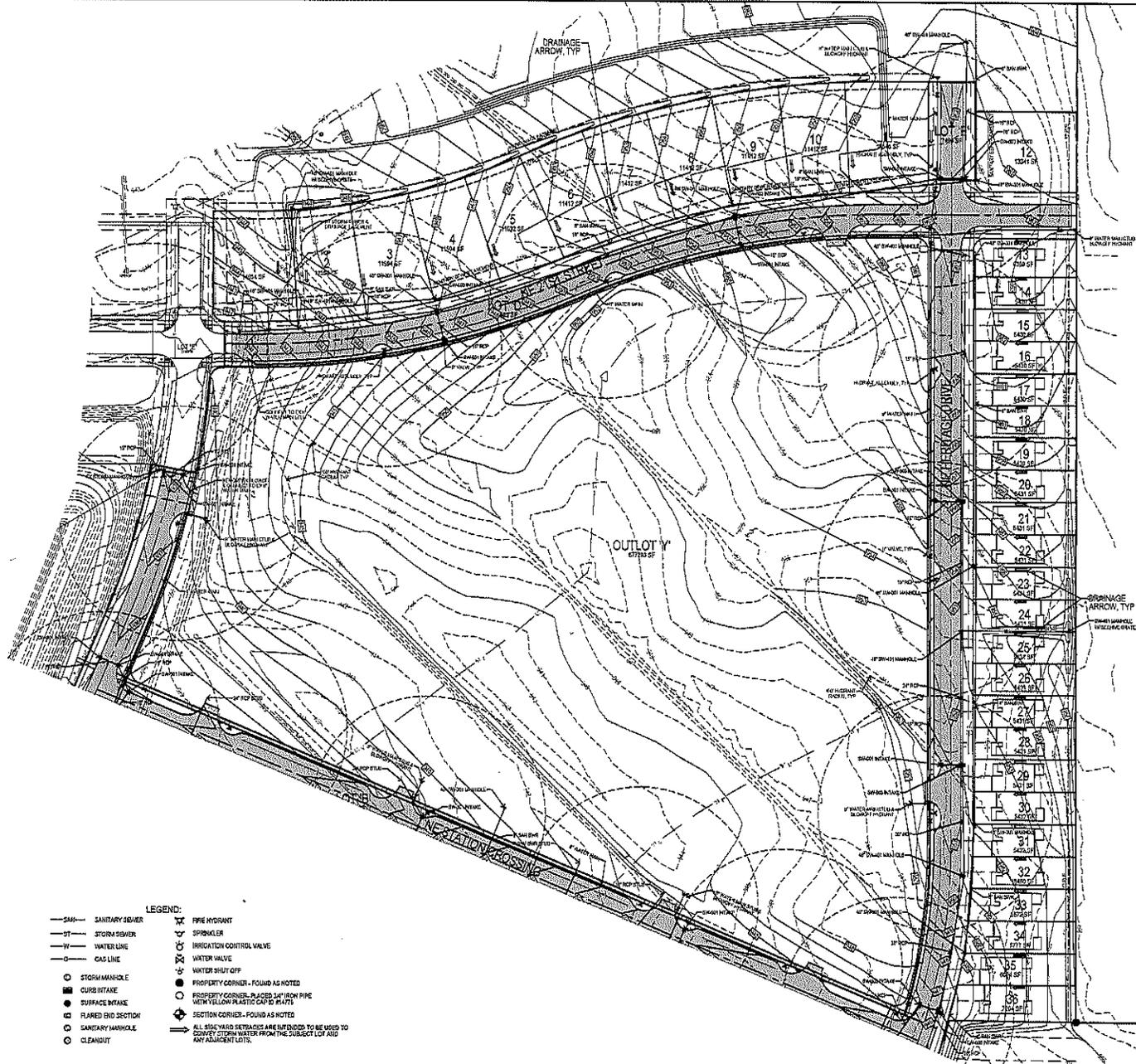
CLIENT NAME:	120101-4
OWNER:	JAW
DESIGNED BY:	J
DATE:	08/15/09
PROJECT NAME:	120101-10
SHEET NUMBER:	3 OF 4

**Bishop Engineering**  
 "Planning Your Successful Development"  
 3501 Dabbs Street  
 Des Moines, Iowa 50325-3820  
 Phone: (515) 281-4400  
 Fax: (515) 281-4401  
 E-mail: info@bishopeng.com  
 Website: www.bishopeng.com

**GRADING & UTILITY PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

MEANS PROJECT NO: 101131 RELATIONS: REBAR BUILDING EXPOSURE



- ABBREVIATIONS:**
- AC ASPHALT
  - ASPH ASPHALT
  - BRK BRICK
  - CCAC CONCRETE
  - P DESIGN DISTANCE
  - EA EXISTING
  - ENCL ENCLOSURE
  - FR FINISHED FLOOR
  - R FLOW LINE
  - FRAC FRACTIONAL
  - M MEASURED DISTANCE
  - MP MARKER
  - P PLATTED DISTANCE
  - PO PAGE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PRA PROVISIONALLY RECORDED AS
  - PUE PUBLIC UTILITY EASEMENT
  - ROW RIGHT OF WAY
  - SM SQUARE FEET
  - SAN SANITARY
  - TYP TYPICAL
  - N NORTH
  - S SOUTH
  - E EAST
  - W WEST

- LEGEND:**
- SAN— SANITARY SEWER
  - ST— STORM SEWER
  - W— WATER LINE
  - G— GAS LINE
  - STORM MANHOLE
  - CURB INTAKE
  - SURFACE INTAKE
  - FLARED END SECTION
  - SANITARY MANHOLE
  - CLEANOUT
  - ▽ FIRE HYDRANT
  - ▽ SPRINKLER
  - ▽ IRRIGATION CONTROL VALVE
  - WATER VALVE
  - WATER SHUT OFF
  - PROPERTY CORNER - FOUND AS NOTED
  - PROPERTY CORNER PLACED 3/4" IRON PIPE WITH YELLOW PAINT TO CAP TO PLATE
  - SECTION CORNER - FOUND AS NOTED
  - ALL 30" V.I.D. DRAINAGE ARE DESIGNED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.

**Bishop Engineering**  
 "Planning Your Successful Development"  
 3301 194th Street  
 Des Moines, Iowa 50323-3535  
 Phone: 515-281-4347  
 Fax: 515-281-4348  
 Civil Engineering & Land Surveying Established 1979

HERITAGE AT GRIMES PLAT 5  
 GRIMES, IA

GRADING & UTILITY PLAN

40' LAND MARK: 120101-4
DRAWN BY: JMS
CHECKED BY: JEJ
REVISION DATE: 5/17/16 1ST CITY SET 6/1/16 2ND CITY SET
PROJECT NUMBER: 120101-10
SHEET NUMBER: 4 OF 4

June 2, 2016

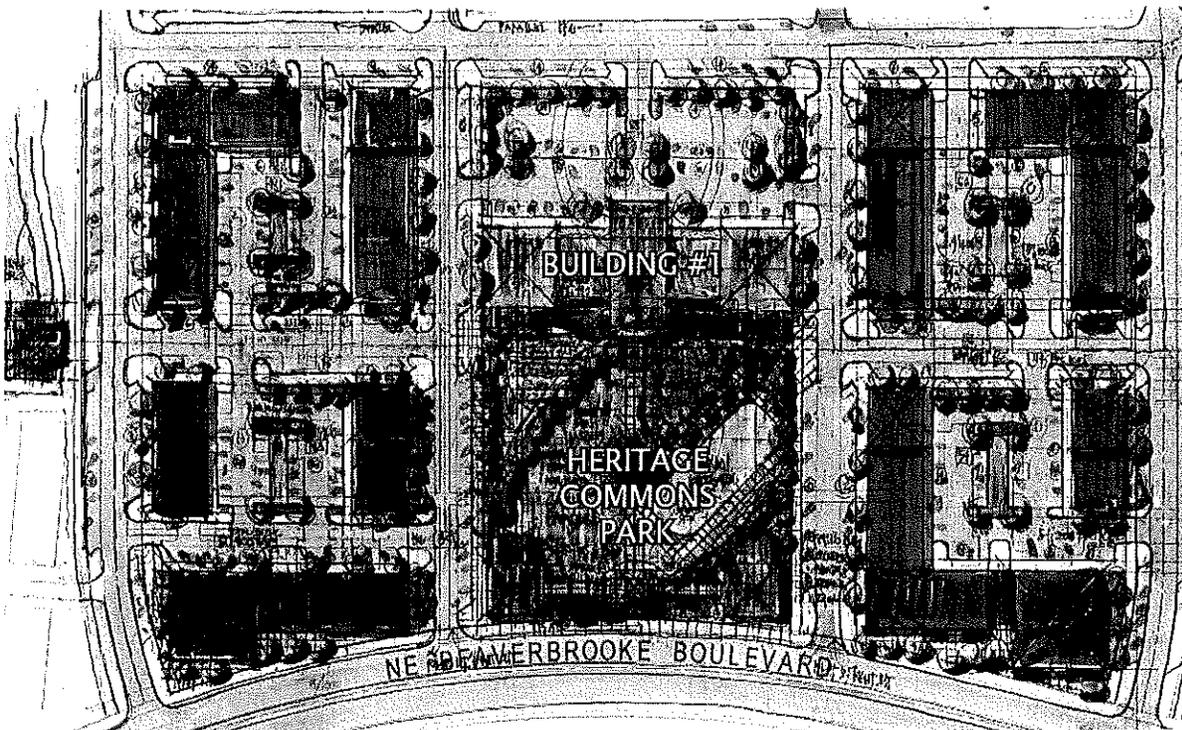
**Att: David Bentz**  
Bishop Engineering  
3501 104th Street  
Des Moines, IA 50322

**Heritage at Grimes Plat 5 – Preliminary Plat**

FOX Ref No: 8630-04D.216

FOX Engineering and City Staff has completed the second review for Heritage at Grimes Plat 5, dated May 11, 2016. Please address the following comments:

1. Please label the future sidewalk along NE Little Beaver Drive and NE Heritage Drive.
2. Staff is concerned about the need for additional parking in the Town Center (in the future). We are also concerned about the access of parking and number of parking stalls available if you enter NE Heritage Drive from Beaverbrooke BLVD. Discussion is necessary about adding 12-ft of ROW to NE Little Beaver and NE Heritage Dr (south of centerline of NE Station Crossing) so that angled parking can be added in the future. Discussion is necessary if some angle parking needs to be added right now on the opposite side of the street to accommodate the traffic around the loop. The approved PUD Zoning Document shows parking on both sides along with 78-ft ROW in this area (see below figures):



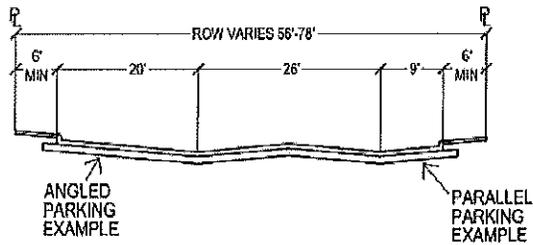
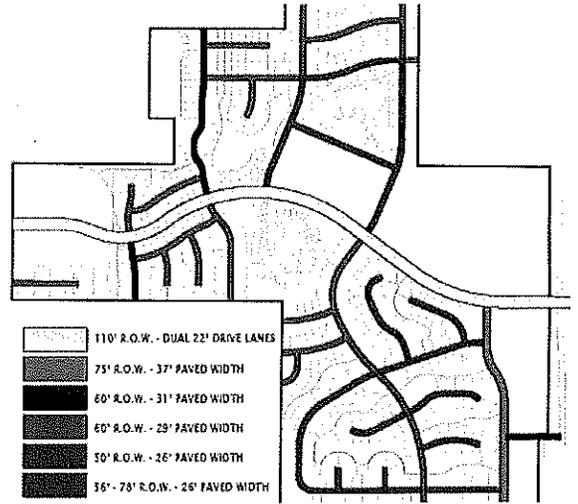


FIGURE 4.6: PURPLE CENTERLINE IN FIGURE 4.7



3. Discussion is necessary in regard to the proposed 6-ft sidewalk in the Town Center Areas. A 6-ft walk is the minimum walk width with overhang parking. Staff is concerned that this sidewalk width is less than SE Main Street of 8-ft which does not allow for planters, benches, or restaurant outdoor seating area. This assumes that the buildings in the Town Center will be built with a 0-ft front yard setback (per the PUD setbacks).
4. During Construction Plan review, discussion is necessary in regard to grading of Lots 1-11 (sideyards), Lot 12 (too flat), Lots 13-22 (sideyards/drainage arrows) and Lots 27-36 (off-site drainage, no rear yard channel).

**PRELIMINARY PLAT SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact me or John Gade at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes













PRELIMINARY- NOT FOR CONSTRUCTION

# STORM WATER POLLUTION PREVENTION PLAN

## EROSION CONTROL NOTES:

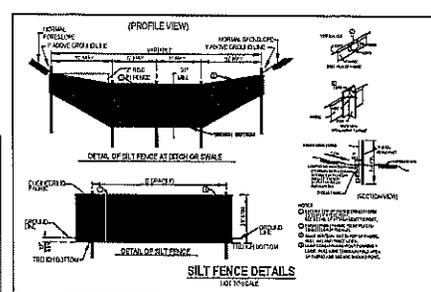
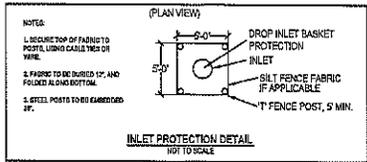
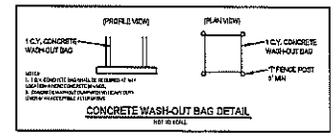
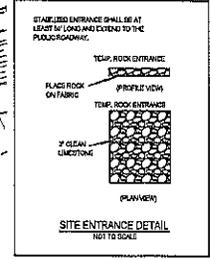
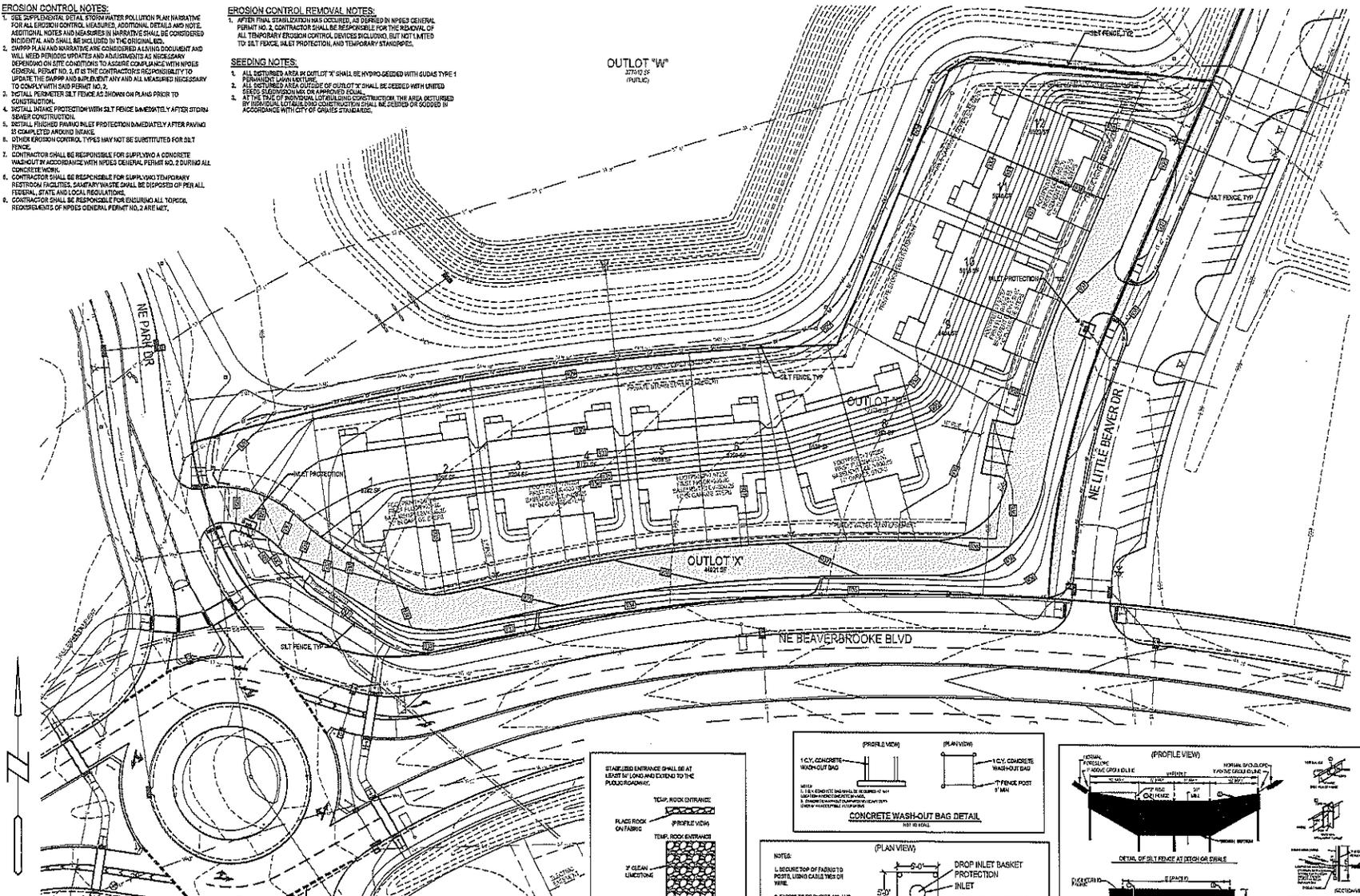
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTES. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE POSTED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINALS.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A PLANNING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND SUPPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL SLOPE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED SWINOLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT BY ACCESSORIZE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TO WASHOUT RESTRICTION FACILITIES. CONCRETE WASHOUT SHALL BE SUPPLIED PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL WASHOUT REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

## EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED, AS SHOWN IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO SILT FENCE, INLET PROTECTION, AND TEMPORARY STABILIZATION.

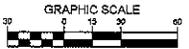
## SEEDING NOTES:

- ALL OUTLINED AREA IN OUTLOT "E" SHALL BE HYDRO-SEEDING WITH GUANS TYPE 1 PERMANENT LAWN MIXTURE.
- ALL OUTLINED AREA OUTSIDE OF OUTLOT "E" SHALL BE SEEDING WITH GRASS SEEDS SUBSTITUTION MAX OR APPROVED EQUAL.
- AT THE TIME OF COMPLETION OF BUILDING CONSTRUCTION, THE AREA OUTLINED BY INDIVIDUAL LOT LINES BUILD CONSTRUCTION SHALL BE DESIGNED OR SODDED IN ACCORDANCE WITH CITY OF GRIMES STABILIZATION.



1-800-292-5588  
www.iowaonecall.com

**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED BY THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



**Bishop Engineering**  
"Planning Your Successful Development"

5501 17th Street  
Des Moines, Iowa 50319-3625  
Phone: (515) 281-4667 Fax: (515) 281-0317  
Civil Engineering & Land Surveying Est. 1989

HERITAGE LAKESIDE TOWNHOMES PLAT 1  
GRIMES, IA

SWPPP

PROJECT NUMBER: 120101-14

DRAWN BY: JES  
CHECKED BY: JES

ISSUED DATE: 4/24/16 1ST CITY SET  
5/27/16 2ND CITY SET  
6/1/16 3RD CITY SET

PROJECT NAME: 120101-12

SHEET NUMBER: C7.1



June 2, 2016

**Att: David Bentz**  
Bishop Engineering  
3501 104th Street  
Des Moines, IA 50322

**Heritage Lakeside Townhomes Plat 1 – Preliminary Plat/Site Plan**

*FOX Ref No: 8630-04D.215*

FOX Engineering has completed the third review for the Heritage Lakeside Townhomes Plat 1 – Preliminary Plat/Site Plan, dated May 31, 2016. Please address the following comments:

**General Comments:**

1. The fire chief has reviewed the plan and his comments have been addressed.

**Layout Plan – Sheet C2.1**

2. Discussion is necessary with P&Z and Council in regard to the lack of sidewalk connections to public ROW. This development is modeled similar to Beaverbrook West Townhomes (use the driveway as sidewalks). The Developer also states that residents can walk through the grass through their rear yards to access the trail.
3. Please provide a street name for the private driveway. Please submit a CAD file so the City can assign addresses.

**Utility Plan – Sheet C4.1**

4. Please note that construction drawings will be required for all utility work.
5. Please check the CD's for NE Park Street in regard to the 8-inch water stub to this property. I assume there was an 8-inch valve required near the 12-inch tee.

**SWPPP - Sheet C7.1**

6. FOX has yet to review this sheet. Additional comments may be forthcoming.

**Stormwater Management Plan**

7. FOX has yet to review the stormwater management plan. Comments will be submitted under separate cover.

**Stormwater Pollution Prevention Plan**

8. Please submit a signed City of Grimes Grading/Certification for Development form.

**Lighting Plan**

9. The Developer does not intend to provide any lighting for this development. At a minimum Staff recommends that garage lighting with light sensors be required to be installed.

**Architectural/Elevation Plans**

10. The Heritage Review Committee (HRC) has reviewed the design plans for adherence to the aesthetic, materials, and character of the proposed architectural and landscape elements of the development. The HRC has no comments or concerns.
11. Staff has reviewed and the townhome elevations meet the PUD requirements.

---

**SITE PLAN SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.



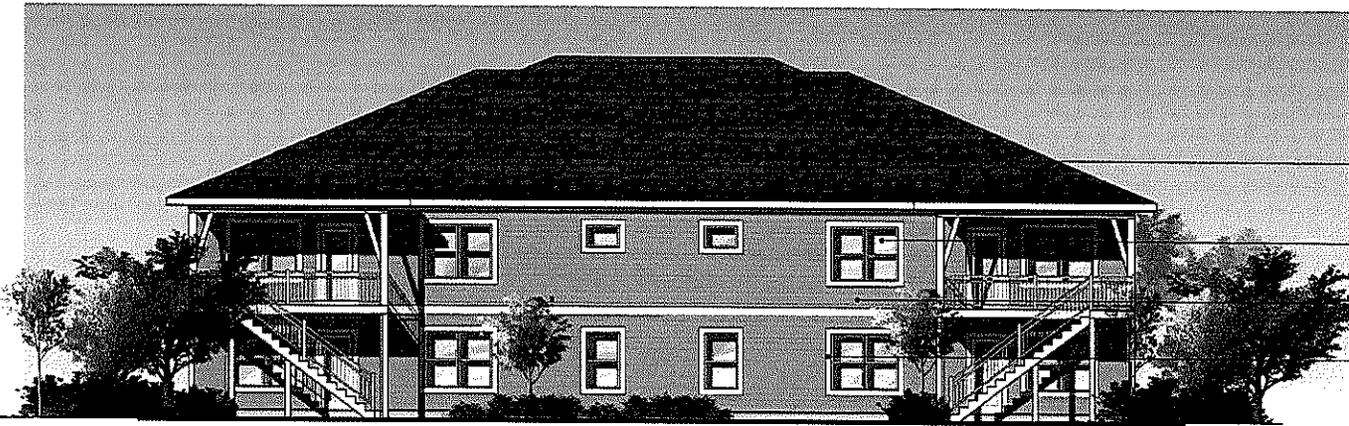
Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes  
Scott Clyce, City of Grimes



**Front Elevation**

- ASPHALT SHINGLES
- LP SHAKE SIDING
- LP LAP SIDING
- VINYL WINDOWS
- STONE VENEER
- LP TRIM



**Rear Elevation**

- ASPHALT SHINGLES
- VINYL WINDOWS
- LP LAP SIDING
- LP TRIM

**Scheme 1**

**Heritage at Grimes  
Lakeside Duplexes - Front Load**

Grimes, Iowa

May 25, 2016

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MS160127.00

bsbdesign.com

The drawings presented are illustrative of structure and do not constitute a contract. They are subject to change based upon local design considerations (i.e., applicable codes, ordinances, and local design requirements, and other floor plan changes, etc.)



**BSB  
DESIGN**



Left Elevation

- ASPHALT SHINGLES
- LP SHAKE SIDING
- VINYL WINDOWS
- STONE VENEER
- LP LAP SIDING
- LP TRIM



Right Elevation

- LP SHAKE SIDING
- LP TRIM
- STONE VENEER

- ASPHALT SHINGLES
- VINYL WINDOWS
- LP LAP SIDING

**Scheme 1**

**Heritage at Grimes  
Lakeside Duplexes - Front Load**  
Grimes, Iowa



MS160127.00

The drawings presented are illustrations of concepts and design intent only, and are subject to change based upon final design requirements (i.e., applicable codes, structural, and MEP design requirements, and plan/section changes, etc.)

May 25, 2016

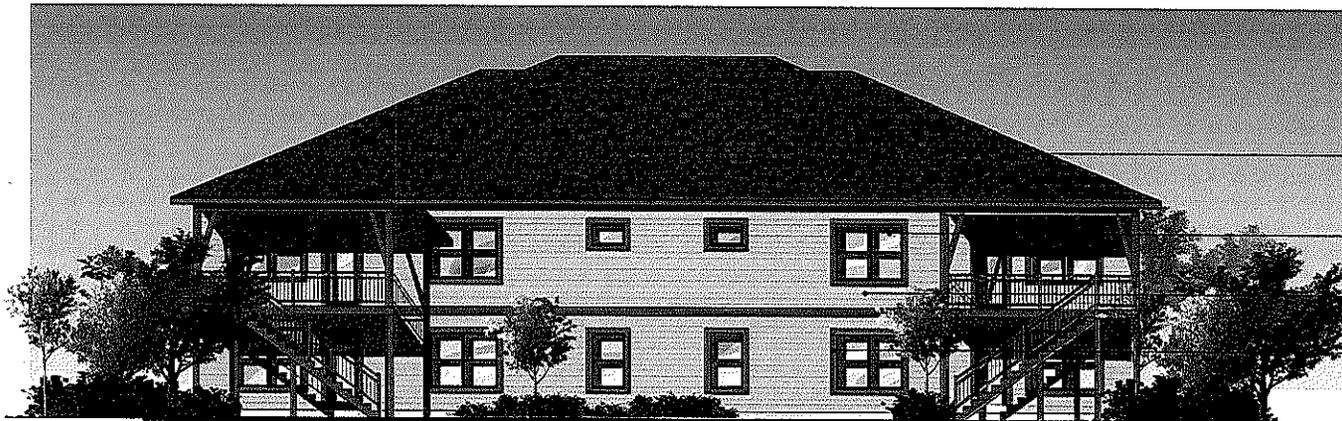
© 2016 BSB Design, Inc.





**Front Elevation**

- ASPHALT SHINGLES
- LP SHAKE SIDING
- LP LAP SIDING
- VINYL WINDOWS
- STONE VENEER
- LP TRIM



**Rear Elevation**

- ASPHALT SHINGLES
- VINYL WINDOWS
- LP LAP SIDING
- LP TRIM

**Scheme 2**

**Heritage at Grimes  
Lakeside Duplexes - Front Load**

Grimes, Iowa

May 25, 2016

© 2016 BSB Design, Inc.



MS160127.00

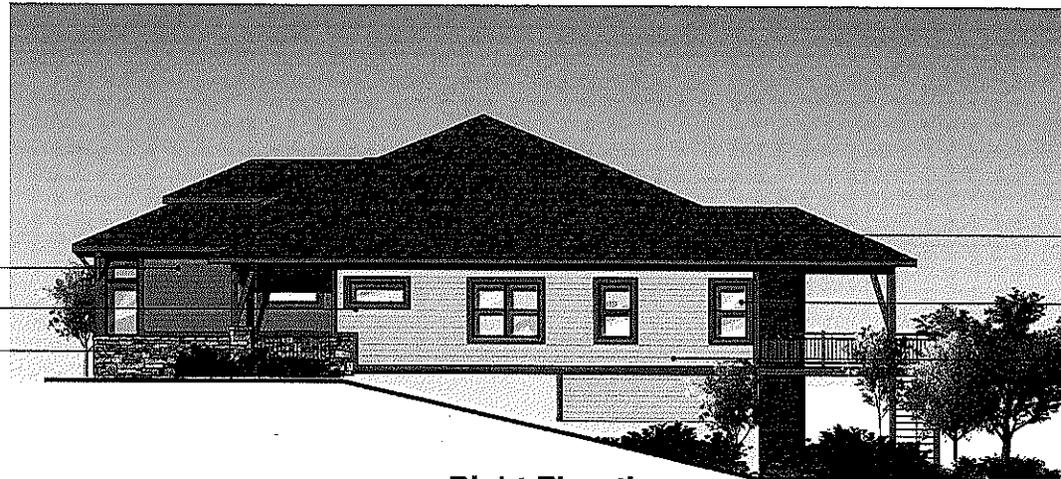
The drawings presented are illustrations of structure and design intended only, and are not intended to show design details. They are not to be used for construction, structural, and MEP design requirements, and plan/floor area changes, etc.





**Left Elevation**

- ASPHALT SHINGLES
- LP SHAKE SIDING
- VINYL WINDOWS
- STONE VENEER
- LP LAP SIDING
- LP TRIM



**Right Elevation**

- LP SHAKE SIDING
- LP TRIM
- STONE VENEER

- ASPHALT SHINGLES
- VINYL WINDOWS
- LP LAP SIDING

**Scheme 2**

**Heritage at Grimes  
Lakeside Duplexes - Front Load**

Grimes, Iowa

May 25, 2016

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MS160127.00

The drawings presented are the property of the architect and design firm only. Any use without the written consent of the architect and design firm is prohibited. All drawings are subject to change without notice. All drawings are subject to the structural and MEP design requirements, and shall not be used for construction.





June 2, 2016

**Att: David Bentz**  
Bishop Engineering  
3501 104th Street  
Des Moines, IA 50322

**Heritage Lakeside Townhomes Plat 1 – Preliminary Plat/Site Plan**

*FOX Ref No: 8630-04D.215*

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**General Comments:**

1. The fire chief has reviewed the plan and his comments have been addressed.

**Layout Plan – Sheet C2.1**

2. Discussion is necessary with P&Z and Council in regard to the lack of sidewalk connections to public ROW. This development is modeled similar to Beaverbrook West Townhomes (use the driveway as sidewalks). The Developer also states that residents can walk through the grass through their rear yards to access the trail.
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**SWPPP - Sheet C7.1**

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---

**SITE PLAN SUBMITTAL SCHEDULE:**

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**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.

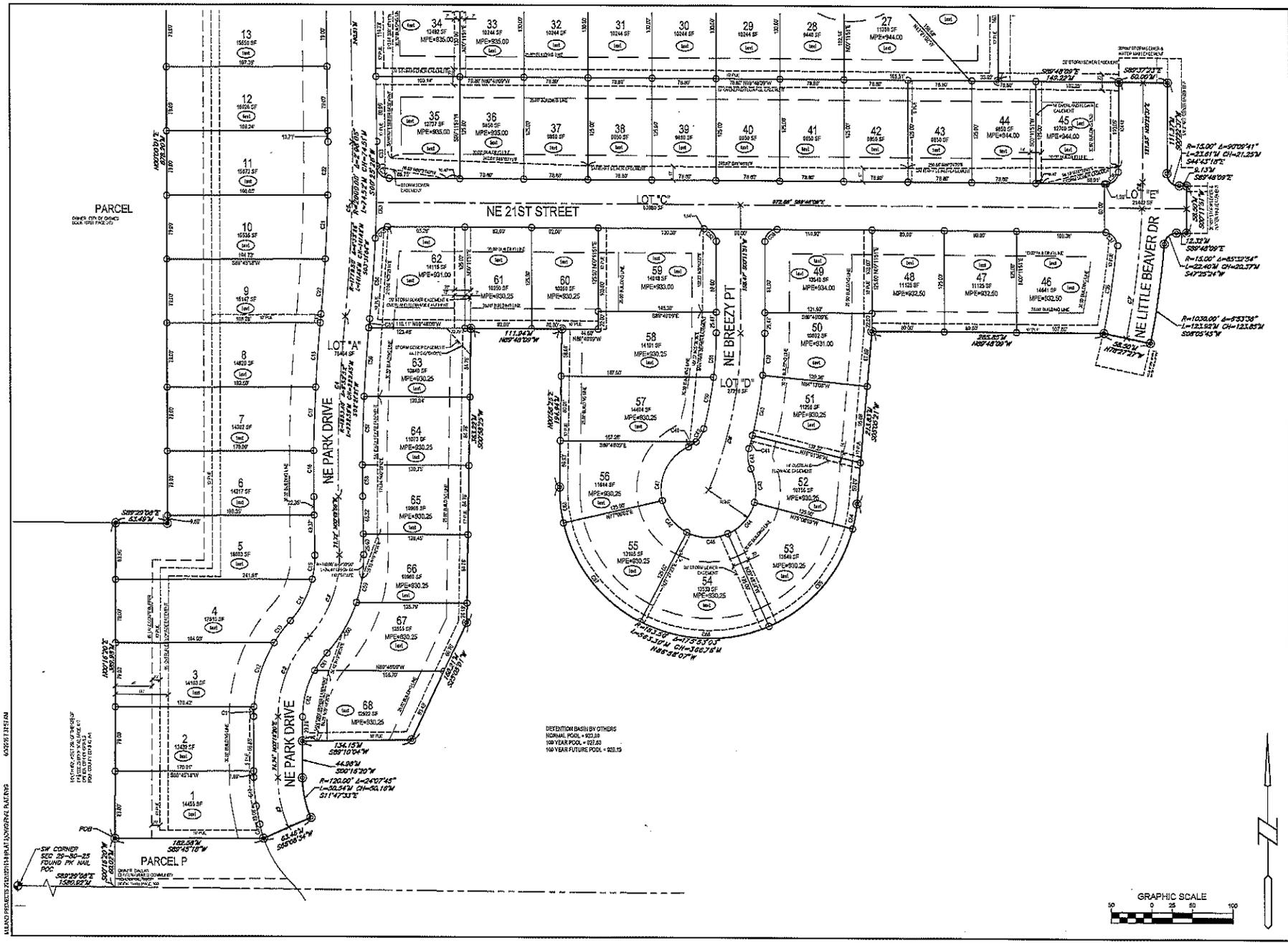


Mitch Holtz, P.E.

Copy to:

Kelley Brown, City of Grimes  
Scott Clyce, City of Grimes





**Bishop Engineering**  
 "Planning Your Successful Development"  
 3501 104th Street  
 Des Moines, Iowa 50323-2903  
 Phone: 515/281-7575  
 Fax: 515/281-7576  
 Civil Engineering & Land Surveying  
 Established 1979

HERITAGE AT GRIMES PLAT 3  
 GRIMES, IA  
**FINAL PLAT**

RECHECKED BY:	LM
DRAWN BY:	LM
CHECKED BY:	LM
REVISION DATE:	
PROJECT NUMBER:	120101-8
SHEET NUMBER:	2 OF 2



June 2, 2016

Bishop Engineering  
Att: David Bentz  
3501 104th Street  
Des Moines, IA 50322

**Heritage at Grimes – Final Plat 3**  
FOX Ref No: 8630-04D.233

FOX Engineering with assistance from David Schneider, PLS, has completed the first review of Heritage Final Plat 3. Please address the following comments:

1. Please revise the street names to match the master document submitted by Bishop (see James R.).
2. If you have not done so, please submit a check for Final Plat Fees to the City of Grimes as per Chapter 166.13.
3. Please provide a .dwg of the final plat so that the city may assign addresses to the lots.
4. Please provide the Post-Construction Maintenance Agreement for this development.
5. 166.09.09, the following shall also be attached to and accompany the Final Plat (some of which have already been submitted for review):
  - a. A certificate by the owner that the subdivision is with their free consent and is in accordance with the desire of the owner. This certificate must be signed and acknowledged by the owner and spouse before some officer authorized to that the acknowledgement of deeds.
  - b. A statement from the mortgage holders or lien holders that the plat is prepared with their free consent and in accordance with their desire, signed and acknowledged before an officer authorized to take the acknowledgment of deeds.
  - c. An opinion by an attorney-at-law who has examined the abstract of title of the land being platted. The opinion shall state the names of the proprietors and holders of mortgages, liens or other encumbrances on the land being platted and shall note the encumbrances, along with any bonds securing the encumbrances.
  - d. A resolution and certificate for approval by the Council and signatures of the Mayor and Clerk.
  - e. A certificate of the County Treasurer that the land is free from certified taxes and certified special assessments and that the certified special assessments are secured by bond in compliance with Chapter 354 of the Code of Iowa.
  - f. Please send FOX (John Gade – [jgade@foxeng.com](mailto:jgade@foxeng.com)) and the City Attorney (Erik Fisk - [Fisk@whitfieldlaw.com](mailto:Fisk@whitfieldlaw.com)) a copy of all the proposed easement descriptions. Please DO NOT send original documents. A pdf of the documents via e-mail is the preferred method. Note that the provided easement documents do not contain the exhibit that is referenced in the document that states the legal description of the easement.
6. The Developer has provided parkland dedication per the approved PUD.

- 
7. Please provide a 4-year maintenance bond for all the pavement and utilities that will be dedicated to the city. The City Engineer shall review the cost estimates for all improvements to verify the bond amount. Note that the City will not accept the final plat until all improvements (this includes temporary and permanent seeding/stabilization) have been installed unless a performance bond or letter of credit is submitted to the City of Grimes (all Punchlist Items shall be addressed). Prior to the City releasing the resolution, all public improvements shall be completed and accepted by the City.
    - a. The temporary & permanent seeding will not be completed (stabilized), thus a performance bond or letter of credit will be necessary.
    - b. All City invoices shall be paid prior to release of the final plat.
  8. Please DO NOT send original copies of the plats to the City of Grimes. The City does NOT require originals to be stamped. The approval of the plat is the signed resolution by City Council. Note that the signed resolution will not be given to the Developer until all items have been addressed.
  9. Once the Final Plat has been accepted by P&Z and Council, the City requires the following:
    - a. Signed PDF
    - b. 1 Mylar - Signed
    - c. Resolution - The City holds the resolution until all legals, comments, and subdivision punchlist have been addressed.
    - d. Filing - The Developer files the plat once the City releases the resolution.
  10. Please submit record drawings of the Construction Plans. These drawings shall be completed within 30 days of the acceptance of the Final Plat. These drawings shall include all public improvements. A digital copy of the Final Plat and Record Drawings is also required.

**FINAL PLAT SCHEDULE:**

**PLANNING & ZONING:** June 7, 2016 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** June 14, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact Mitch Holtz or myself at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

*John Gade, P.E.*

John Gade, P.E.

Copy to: Kelley Brown, City of Grimes  
Erik Fisk, City Attorney



101 North Harvey, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

**ORDINANCE #656**

AN ORDINANCE TO AMEND THE GRIMES CODE OF ORDINANCES CHAPTER 108.06 TO PROVIDE FOR THE DECREASE IN THE CHARGE FOR THE COLLECTION OF RECYCLABLE MATERIALS FROM ~~\$2.59~~ TO \$2.58 EFFECTIVE JULY 01, 2015-2016

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA

SECTION 1. Purpose. The purpose of this ordinance is to amend the Code of Ordinances Chapter 208.06 to provide for the decrease in the charge for the collection of recyclable materials from \$2.59 to \$2.58

SECTION 2. Amendment.

Grimes Code of Ordinances Section 108.06 shall be amended to read as follows:

C. The monthly charge shall be ~~\$2.59~~ to-\$2.58 effective July 01, 2015 2016.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

SECTION 5. Effective date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the Grimes City Council on \_\_\_\_\_, 2016.

\_\_\_\_\_  
Rochelle Williams, City Clerk

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

**Preparer**

**Information:** Whitfield & Eddy, P.L.C., 699 Walnut, Suite 2000, Des Moines, Iowa 50309 (515) 288-6041  
Name Street Address City,State,Zip Area Code-Phone

**When Recorded Return to:**

James M. Gocke, 210 N.E. Delaware Ave., Suite 200, Ankeny, IA 50021 (515) 964-8777  
Name Street Address City,State,Zip Area Code-Phone

RESOLUTION No. 06-0116

**RESOLUTION VACATING TRAIL EASEMENT**

WHEREAS, all prior requirements of law under Iowa Code Section 364.7 and the Grimes Code of Ordinances pertaining to the vacation of public property have been fully observed; and

WHEREAS, it is desirable that the trail easement more fully described herein be vacated;

WHEREAS, the Council finds that the trail easement is no longer needed for the use of the public and will be relocated and rerouted through a newly dedicated easement, and therefore, maintenance of the old easement at public expense is no longer justified;

WHEREAS, the Council finds that the proposed vacation of the trail easement proposed herein will not deny the public access to the trails or related public property;

WHEREAS, the Council finds that it is in the City's best interest to dispose of the trail easement set forth herein;

NOW, THEREFORE, BE IT ORDAINED by the City Council for the City of Grimes, Iowa:

SECTION 1. That a trail easement more specifically described as follows, be and are hereby vacated:

**Trail Easement dated June 20, 2006, and recorded July 6, 2008, in Book 11733, at Page 993, in the records of the Polk County, Iowa Recorder, and as legally described in the attached Exhibit "A."**

SECTION 2. That the City Clerk is hereby authorized and directed to cause certified copies of this resolution and proof of publication thereof together with proof of publication of the notice of the public hearing on this matter to be properly filed in the office of the Recorder of Polk County, Iowa.

SECTION 3. This resolution shall be in full force and effect from and after its final passage, approval and publication as provided by law.

Passed by the council the \_\_\_\_\_ day of \_\_\_\_\_, 2016, and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
THOMAS M. ARMSTRONG, MAYOR

ATTEST:

\_\_\_\_\_  
ROCHELLE WILLIAMS, CITY CLERK

STATE OF IOWA            )  
  )ss.  
COUNTY OF POLK        )

On this \_\_\_\_\_, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Tom Armstrong, Mayor, and Rochelle Williams, City Clerk, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Grimes, Iowa; a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as contained in Resolution No.

\_\_\_\_\_ passed by the City Council under Roll Call No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2016; and Tom Armstrong, Mayor, and Rochelle Williams, City Clerk, acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

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Notary Public in and for said State

I:\Grimes\Fisk\Resolutions\RESOLUTION Vacating Trail Easement 05 24 16.doc

**Preparer**

**Information:** Whitfield & Eddy, P.L.C., 699 Walnut Street, Suite 2000 Des Moines, Iowa 50309 (515) 288-6041  
Name Street Address City,State,Zip Area Code-Phone

**When Recorded Return to:**

City of Grimes, 101 NE Harvey Street, Grimes, Iowa 50111 (515) 986-3036  
Name Street Address City,State,Zip Area Code-Phone

RESOLUTION No. 06-0316

RESOLUTION VACATING PUBLIC UTILITY EASEMENTS IN LOT 43 OF  
CHEVALIA VALLEY PLAT 1

WHEREAS, all prior requirements of law under Iowa Code Section 364.7 and the Grimes Code of Ordinances pertaining to the vacation of public property have been fully observed; and

WHEREAS, it is desirable that the public utility easements as more fully described herein be vacated;

WHEREAS, the Council finds that the public utility easements described herein are no longer needed for the use of the public and will be relocated and rerouted through a newly dedicated easement, and therefore, maintenance of the easements at public expense is no longer justified;

WHEREAS, the Council finds that the proposed vacation of the public utility easements proposed herein will not deny the public any right of access to their property or ability to develop their property;

WHEREAS, the Council finds that it is in the City's best interest to dispose of the public utility easements set forth herein;

NOW, THEREFORE, BE IT ORDAINED by the City Council for the City of Grimes, Iowa:

SECTION 1. That public utility easements located in Lot 43 of Chevalia Valley Plat 1, and more specifically described as follows, be and are hereby vacated.

A 15 FOOT WIDE PARCEL OF LAND IN LOT 43, CHEVALIA VALLEY PLAT 1, AN OFFICIAL PLAT, CITY OF GRIMES, POLK COUNTY, IOWA, BEING RIGHT OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AS A POINT OF REFERENCE AT THE NORTHWEST CORNER OF SAID LOT 43; THENCE S00°05'25"W, 15.00 FEET ALONG THE WEST LINE OF SAID LOT 43 TO THE POINT OF BEGINNING; THENCE S89°58'07"E, 437.37 FEET TO A POINT; THENCE S59°50'08"E, 214.21 FEET TO A POINT OF TERMINUS.

AND

A 10 FOOT WIDE PARCEL OF LAND IN LOT 43, CHEVALIA VALLEY PLAT 1, AN OFFICIAL PLAT, CITY OF GRIMES, POLK COUNTY, IOWA, BEING LEFT OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 43; THENCE S75°59'45"E, 465.66 FEET ALONG THE SOUTH LINE OF SAID LOT 43 TO A POINT; THENCE N49°56'57"E, 136.36 FEET ALONG THE EAST LINE OF SAID LOT 43 TO A POINT; THENCE N20°23'43"E, 187.61 FEET ALONG THE EAST LINE OF SAID LOT 43 TO A POINT; THENCE N00°00'00"E, 363.33 FEET TO A POINT OF TERMINUS.

and shall be transferred to the Plat's proprietor and/or its successors and/or assigns.

SECTION 2. That the City Clerk is hereby authorized and directed to cause certified copies of this resolution and proof of publication thereof together with proof of publication of the notice of the public hearing on this matter to be properly filed in the office of the Recorder of Polk County, Iowa.

SECTION 3. This resolution shall be in full force and effect from and after its final passage, approval and publication as provided by law.

Passed by the council the \_\_\_\_\_ day of \_\_\_\_\_, 2016, and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
THOMAS M. ARMSTRONG, MAYOR

ATTEST:

\_\_\_\_\_  
ROCHELLE WILLIAMS, CITY CLERK

STATE OF IOWA            )  
  )ss.  
COUNTY OF POLK        )

On this \_\_\_\_\_, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Tom Armstrong, Mayor, and Rochelle Williams, City Clerk, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Grimes, Iowa; a municipal corporation; that the City does not have a corporate seal, and that the instrument was signed on behalf of the corporation, by authority of its City Council, as contained in Resolution No. \_\_\_\_\_ passed by the City Council under Roll Call No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2016; and Tom Armstrong, Mayor, and Rochelle Williams, City Clerk, acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

\_\_\_\_\_  
Notary Public in and for said State



**CITY COUNCIL MEETING  
Workshop Immediately Following Council Meeting  
Tuesday June 14, 2016  
Grimes City Hall**

**Following the City Council Meeting  
Mayor Tom Armstrong**

**City Council: Jill Altringer, Ty Blackford, Doug Bickford, Jeremy Hamp, Eric Johansen  
City Administrator Kelley Brown, City Clerk Rochelle Williams,  
City Treasurer Deb Gallagher  
City Attorneys Tom Henderson  
City Engineer John Gade**

**I. GENERAL AGENDA ITEMS**

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Presentation by RDG on the Governors District Overlay
5. Hwy 141 Ordinance Review
6. New Business
  - a. general discussion

**II. ADJOURNMENT.**